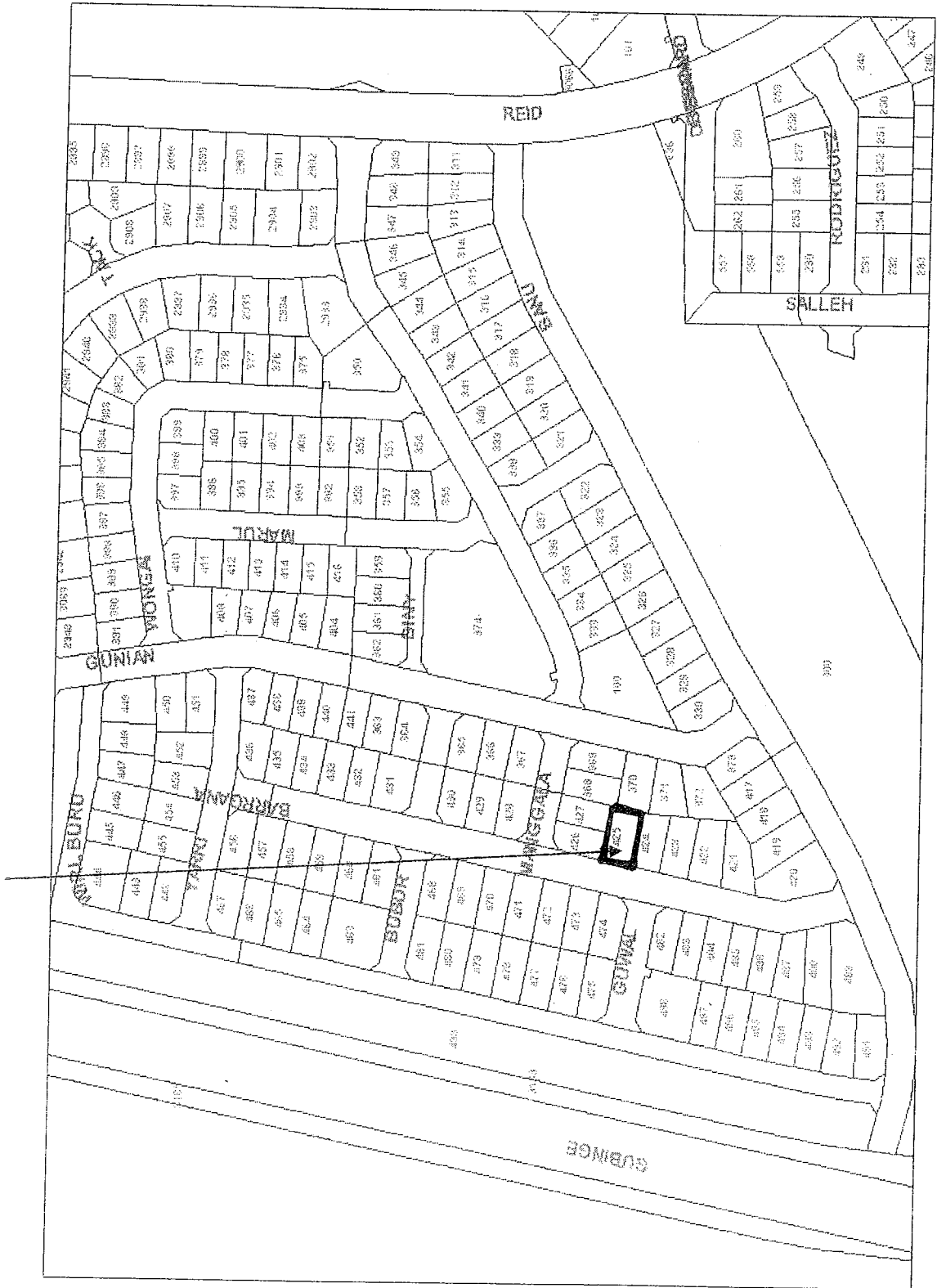


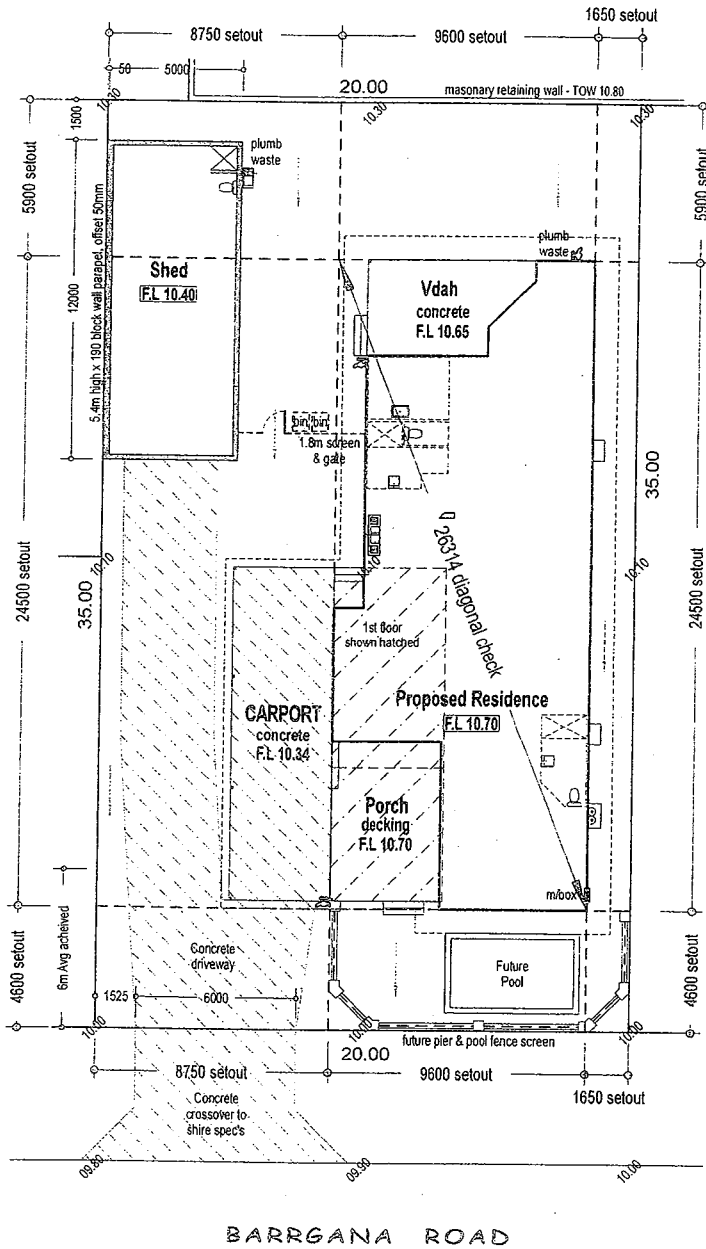
ATTACHMENT 1: LOCALITY MAP



ATTACHMENT 2: SITE PLAN



LOT 425
700 m²



BARRGANA ROAD

NOTES:

STORM WATER

All stormwater to be discharged to road.
Where required, provide 300(h) fibre cement" barrier along fence line to contain all storm water on site & prevent stormwater discharging to adjacent sites

NATIVE VEGETATION

Assorted native vegetation to be removed from site area.

OPEN SPACE
700m² (lot area)
- 309m² (enclosed area)
= 391m² (56% open space)



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Different specifications use different trades, materials & manufacturers. Clients to confirm all relevant information to comply with the selected specifications.

Individual Design

CLIENT: A. Houston

ADDRESS: Lot 425 Barrgana Road,
Cable Beach

Authority Shire of Broome

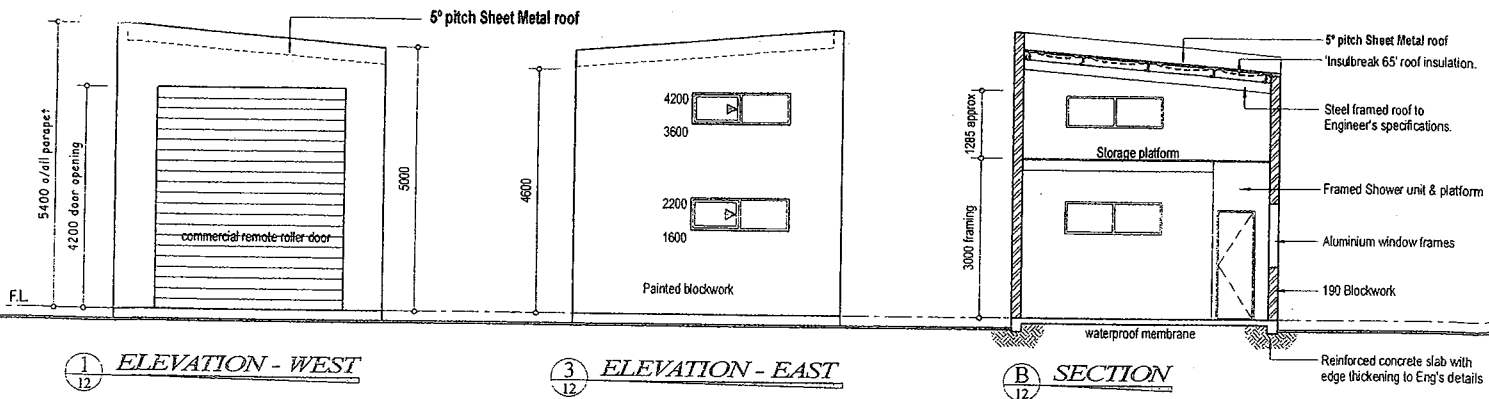
Site Plan

Scale: 1 : 200

Sheet: 01 of 12

Job N°: cs0304

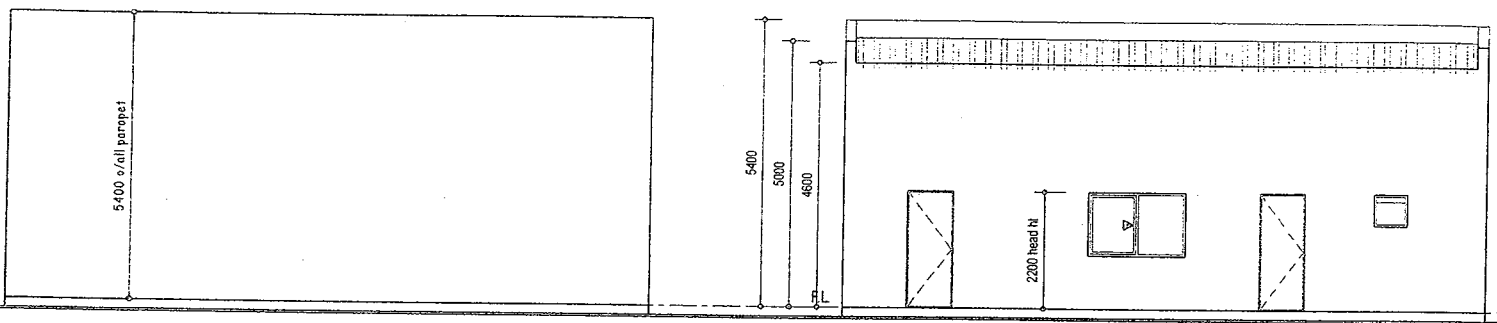
ATTACHMENT 3: FLOOR PLAN & ELEVATIONS OF SHED



1 ELEVATION - WEST

3 ELEVATION - EAST

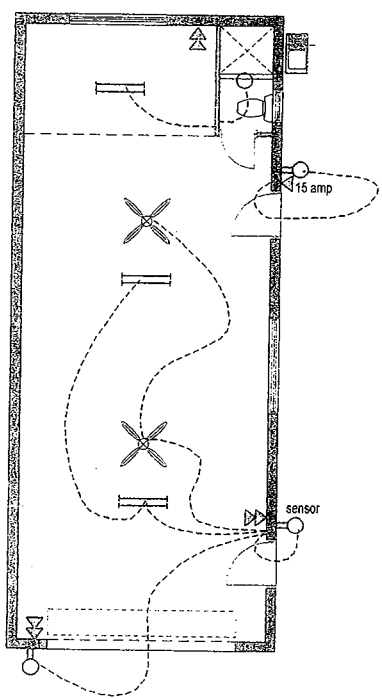
B SECTION



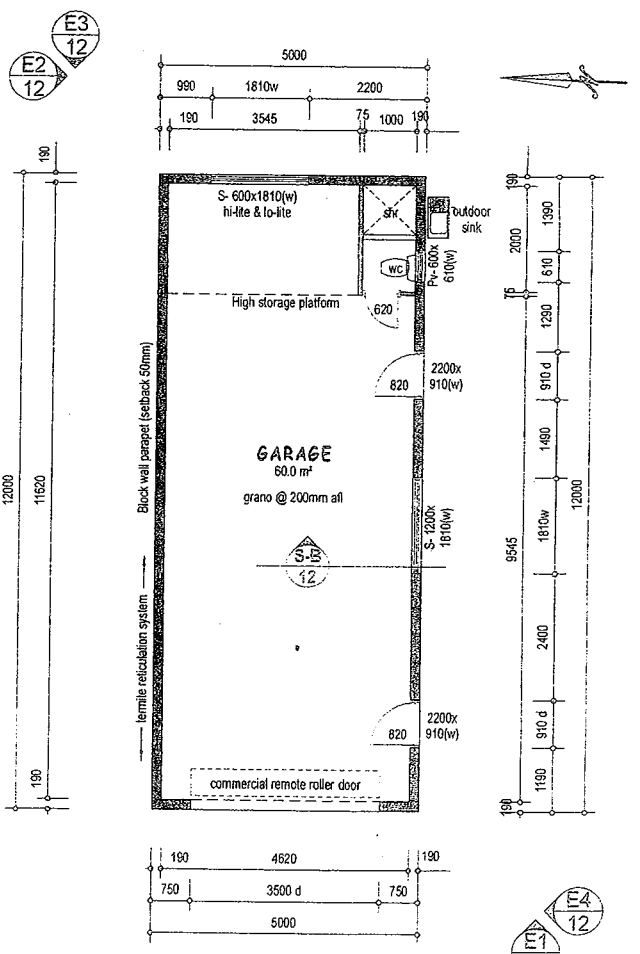
2 ELEVATION - NORTH

4 ELEVATION - SOUTH

All details diagrammatic only. Structural & fixing details to be supplied by Engineer to suit appropriate cyclonic zones & comply with BCA & Australian Standards. Any discrepancies between drawings to be overridden by Structural details & confirmed by trades prior to works commencing.



ELECTRICAL PLAN



FLOOR PLAN

- Window Legend**
 Sd - sliding door
 S - sliding
 Lv - louvre
 A - awning
 C - casement
 F - fixed
 Pv - permanent vent
 TF - Timber framed



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Individual Design	CLIENT: A. Houston	Shed Plan
	ADDRESS: Lot 425 Barragana Road, Cable Beach	Scale: 1:100 on A3
	Authority: Shire of Broome	Sheet: 12 of 12
		Job N°: cs0304

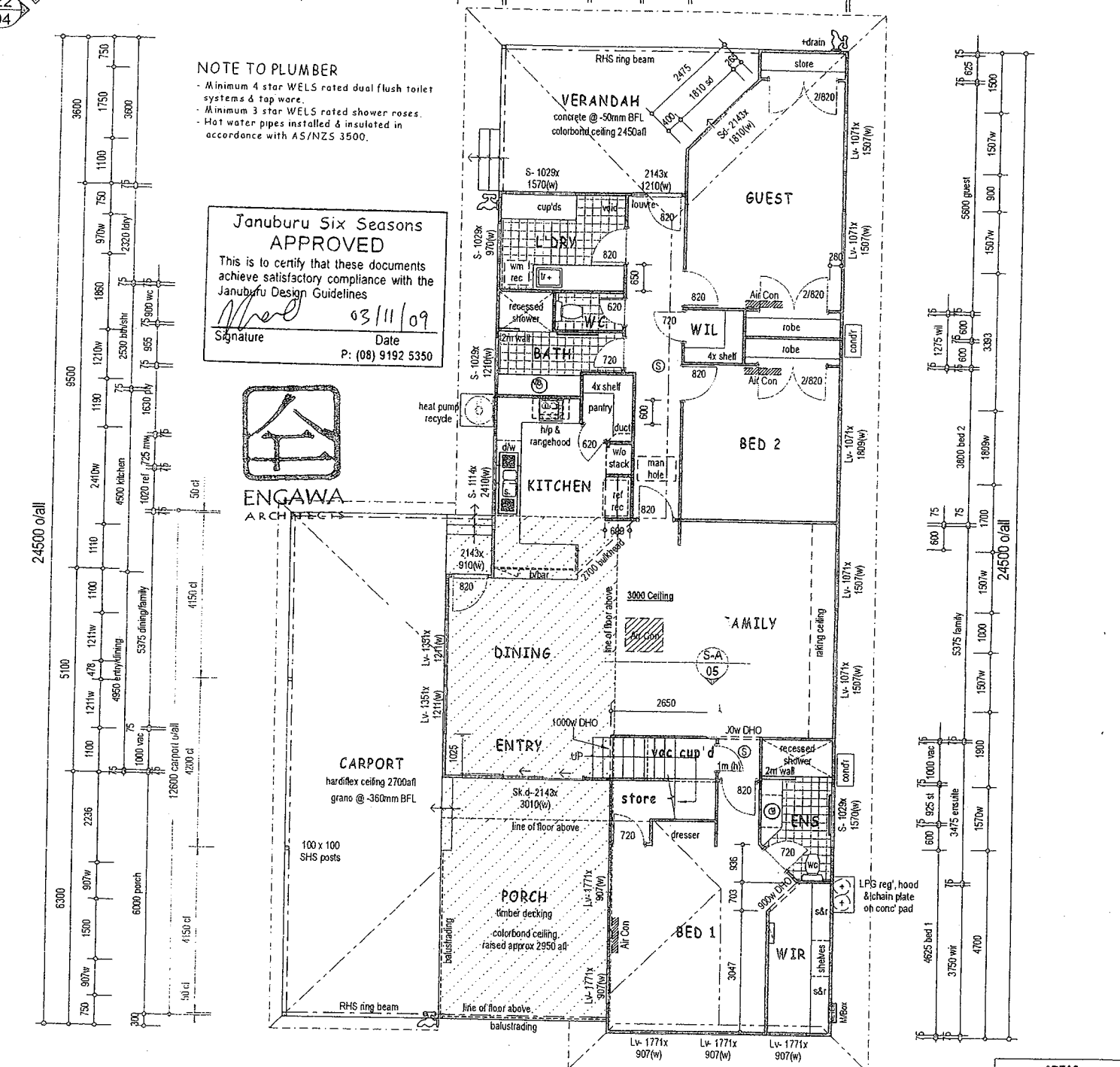
All details diagrammatic only. Structural & fixing details to be supplied by Engineer to suit appropriate cyclonic zones & comply with BCA & Australian Standards. Any discrepancies between drawings to be overridden by Structural details & confirmed by trades prior to works commencing.

Smoke Alarm Devices shall be installed to:
 - Comply with AS3786-1993 Smoke Alarms.
 - Be connected to the consumer power mains and,
 - Have a stand-by power supply
 Location of the smoke Alarm device (s) shall be as shown on the plan.

E3
04
E2
04

NOTE TO PLUMBER
 - Minimum 4 star WELS rated dual flush toilet systems & tap ware.
 - Minimum 3 star WELS rated shower roses.
 - Hot water pipes installed & insulated in accordance with AS/NZS 5500.

Janaburu Six Seasons APPROVED
 This is to certify that these documents achieve satisfactory compliance with the Janaburu Design Guidelines
 Signature: *[Signature]* Date: 03/11/09
 P: (08) 9192 5350

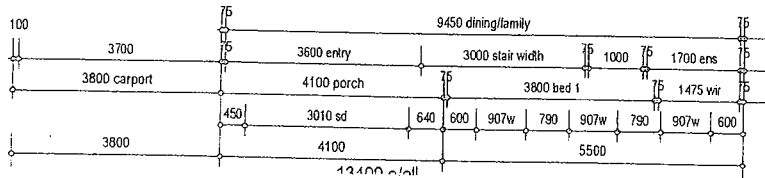


Engineer to nominate detailed foundations due to close proximity of swimming pool

AREAS

HOUSE	175.736m ²
PORCH	24.600m ²
CARPORT	49.530m ²
VERANDAH	19.224m ²
TOTAL AREA	269.090m²
OFFICE	31.920m ²
BALCONY	21.000m ²
TOTAL AREA	62.920m²

LOWER ROOF 272.03m² perim (81.800m)
 UPPER ROOF 86.400m²



Window Legend
 - sliding door
 - sliding
 - louvre
 - awning
 - casement
 - fixed
 - perma
 - Timber
 Floor Wae
 Ceiling Ve

ATTACHMENT 4: FLOOR PLANS & ELEVATIONS OF DWELLING

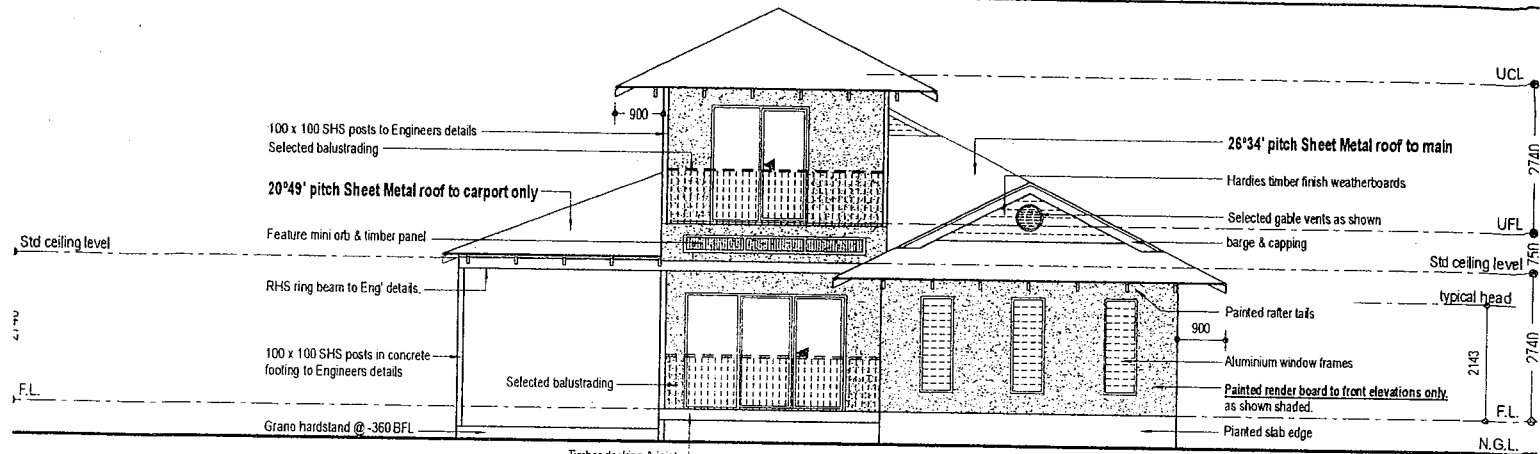


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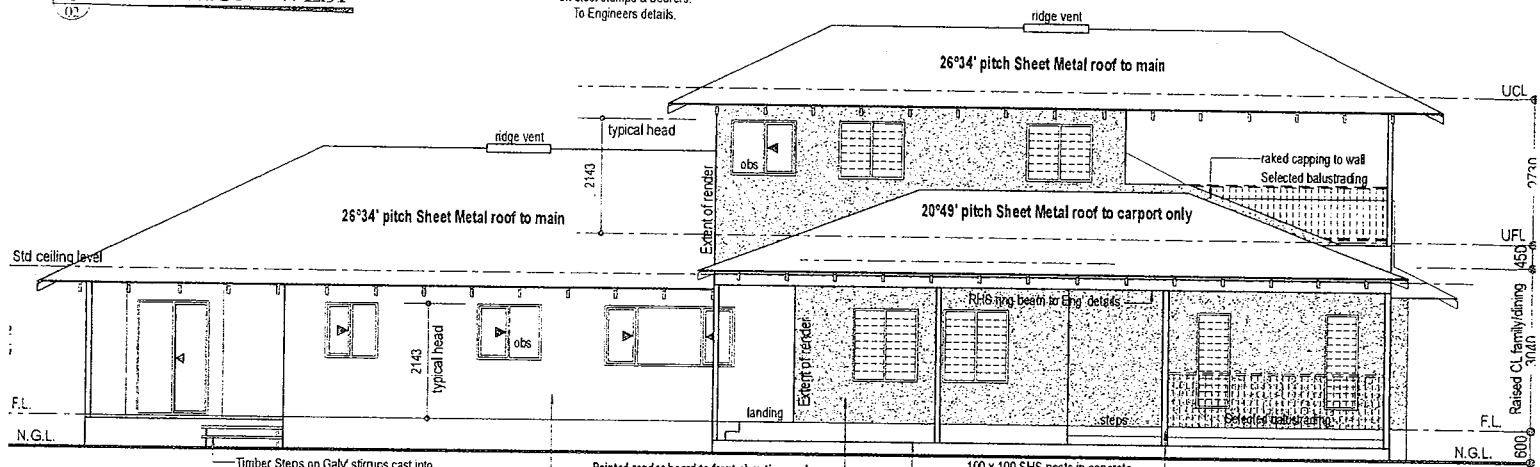
Individual Design		
REV	DATE	DESCRIPTION
-	15/10/09	Working Drawings

CLIENT: A. Houston
 ADDRESS: Lot 425 Barragana Road, Cable Beach
 Authority: Shire of Broome

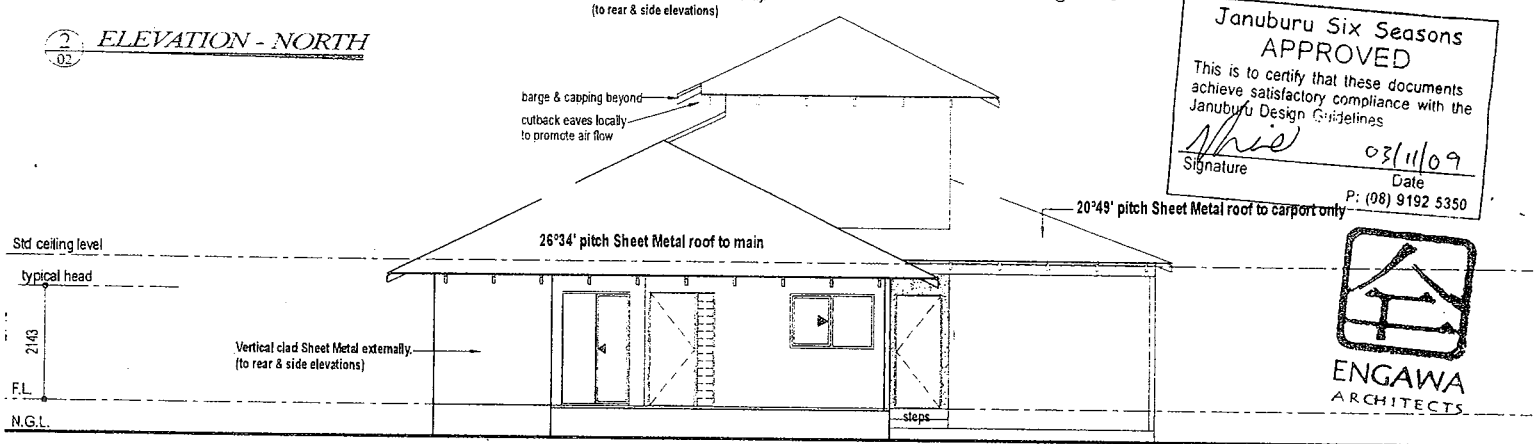
Ground Floor Plan
 Scale: 1:100 on A3
 Sheet: 02 of 12
 Job No: cs0304



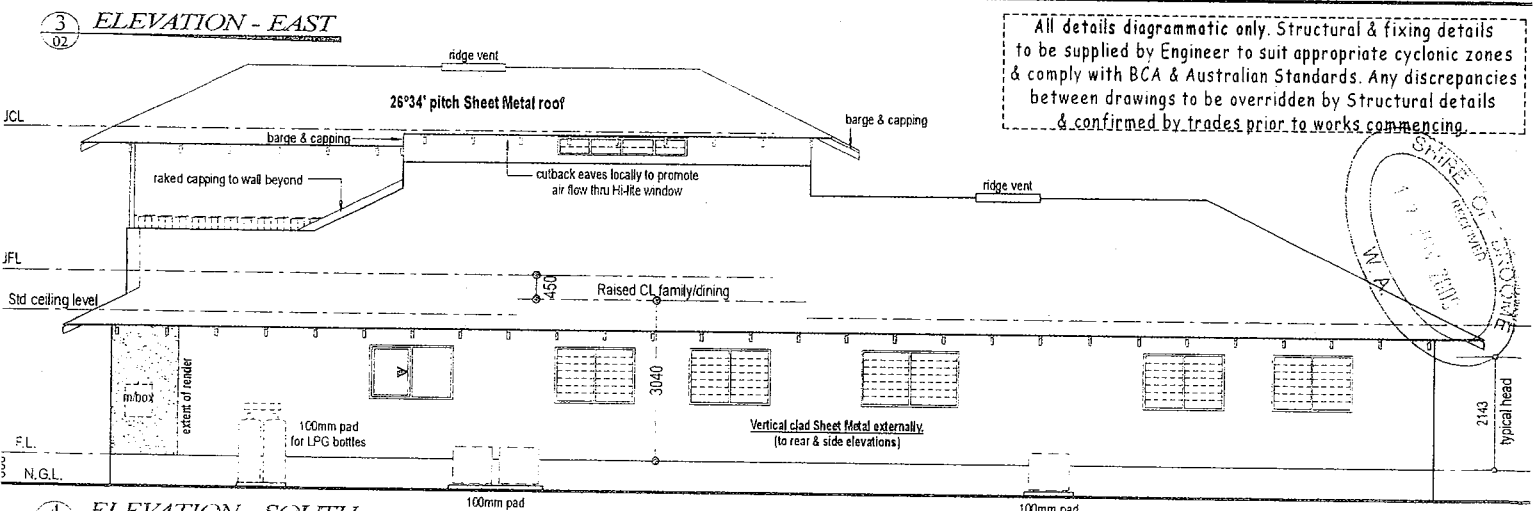
1 ELEVATION - WEST



2 ELEVATION - NORTH



3 ELEVATION - EAST

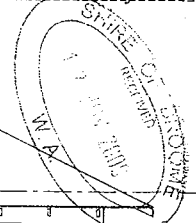


4 ELEVATION - SOUTH

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 Signature: *Shirley* Date: 03/11/09
 P: (08) 9192 5350



All details diagrammatic only. Structural & fixing details to be supplied by Engineer to suit appropriate cyclonic zones & comply with BCA & Australian Standards. Any discrepancies between drawings to be overridden by Structural details & confirmed by trades prior to works commencing.



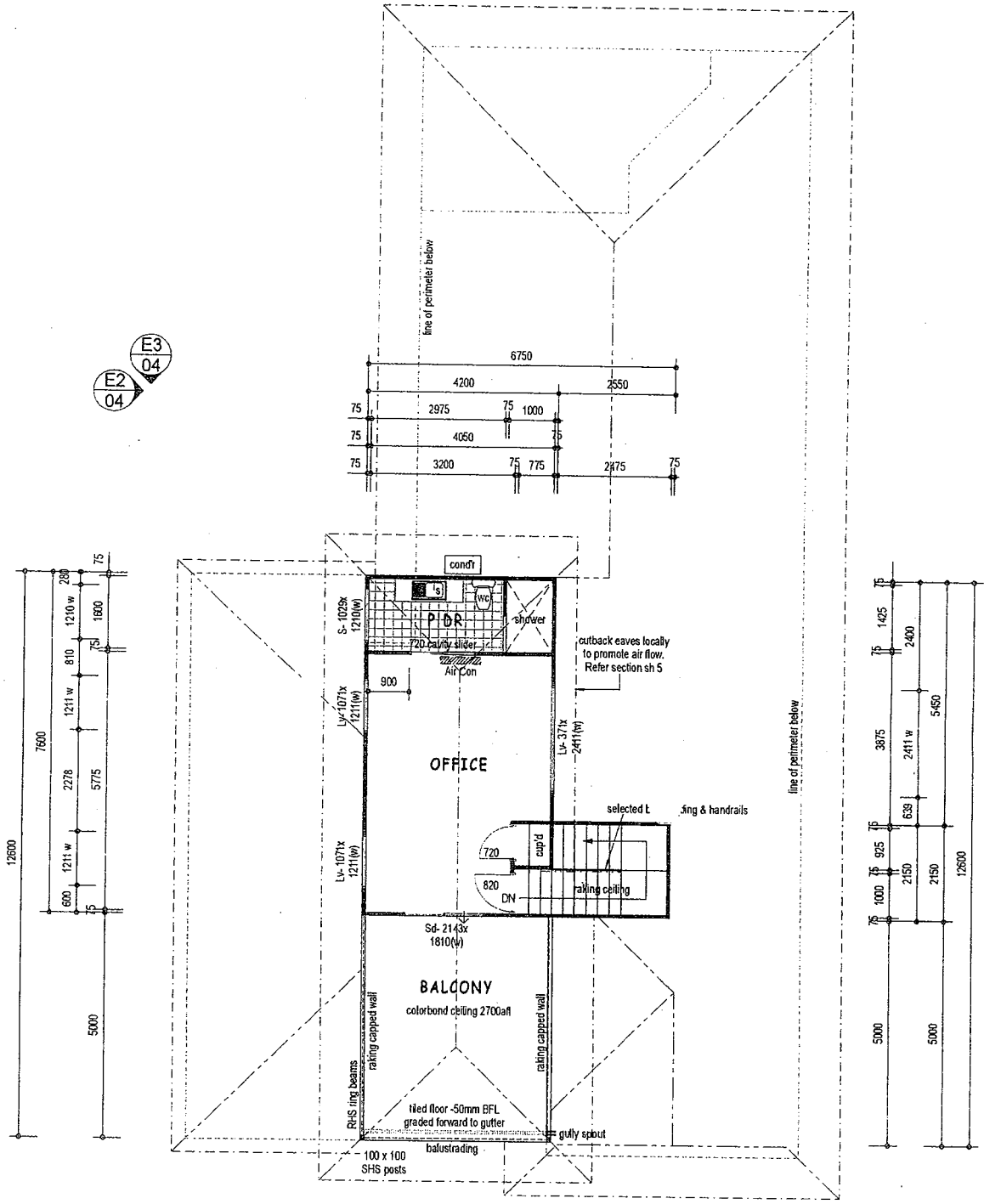
This design may require minor changes to comply with the Energy Efficiency provisions of the Building Code of Australia
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Individual Design

CLIENT: A. Houston
 ADDRESS: Lot 425 Barragana Road, Cable Beach
 Authority: Shire of Broome

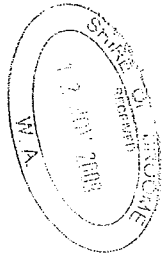
Elevations
 Scale: 1 : 100 on A3
 Sheet: 04 of 12
 Job N°: cs0304

E2
04
E3
04



ENGAWA
ARCHITECTS

Januburu Six Seasons APPROVED
 This is to certify that these documents achieve satisfactory compliance with the Januburu Design Guidelines
 Signature: *[Signature]* Date: 03/11/09
 P: (08) 9192 5350



E1
04
E4
04



This design may require minor changes to comply with the Energy Efficiency provisions of the Building Code of Australia
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Individual Design

CLIENT: A. Houston
 ADDRESS: Lot 425 Barragana Road, Cable Beach
 Authority: Shire of Broome

Upper Floor Plan
 Scale: 1 : 100 on A3
 Sheet: 03 of 12
 Job N: cs0304

ATTACHMENT 5: LETTERS - JUSTIFICATION
AND NEIGHBOUR.

Craig Starcevich
Star Design & Drafting
Broome WA
9192 6157
craigstar@bravo.net.au

Re: Houston
Lot 425 (#21) Barrgana Road
Cable Beach
"Januburu"

Shire of Broome
Planning Department
Justine Mudimbu
17/12/09

Justine,

I am responding on behalf of the builder Bob Sweet & the owner Tony Houston in relation to facsimile dated 15 Dec 09 in which you requested a redesign of the boat shed. We understand your concerns but consider the proposed development to be within the requirements of Shire guidelines and in fact, the R-code 2008 clause 6.3.2 P2 that you referred us to. Please consider the following points when you take this case to the next council meeting.

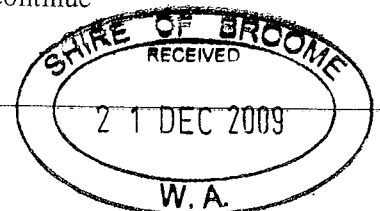
1. The research undertaken by myself & also Mr Houston in July lead us to believe the shire would permit a max 60m² shed with a wall height of 6.5m & a ride height of 10.5m. Our proposal includes a 54m² shed with a parapet wall height of 5.4m.
2. We also provided a 50mm offset for termite reticulation provisions, which were also recommended by the shire representative
3. In relation to R-code 2008 clause 6.3.2 P2 –
 - a. Does not adversely affect the amenity of the adjoining property. – The shed's "shadow" will be well beyond any building envelope of Lot 427
 - b. It will not cause overshadowing as it is on the Southern side.
 - c. It will not cause any direct barrier from the prevailing wet season Westerly cooling breezes
 - d. It certainly maximises the usable space, privacy & amenity of our lot.
4. Furthermore the owners of lot 427 (neighbouring boundary in question) have provided a signed declaration saying that they have no objection to the shed in question. (Attached)

The reason that the shed is almost to maximum size is to provide a lockable shelter for Mr Houston's boat during the cyclone season while he is away. We have designed it to be as 'snug' as possible. The roller door opening provides a 100mm clearance all sides for the boat & once inside, there is just enough space to walk around the trailer. We have selected a skillion roof at minimum pitch to keep the height down & to retain stormwater run off to our block.

Any reduction in size would severely compromise the rationale for the shed at all.

Should you require any clarification on this matter please contact myself or continue correspondence with Bob Sweet.

Regards
Craig Starcevich



BROOME SHIRE COUNCIL

16/12/09.

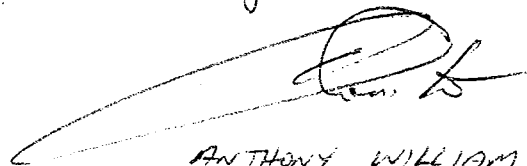
ATTN JUSTINE MUDIMBU

PLANNING APPROVAL - LOT 425 (21) BARRAGAN ROAD.

In reply to your letter of the 15/12/09, I confirm that the shed is required to store my 9.5m boat which is used for private use only.

My wife and myself have been living in Broome since 1992, but now spend the wet season in Hobart, where both of our parents still live and I require this shed for security purposes and protection from the weather whilst we are in Hobart, Tasmania.

Regards.



ANTHONY WILLIAM HOUSTON

0418 122 102.





Enquiries: Margriet van Tuyl 9482 7434

Anthony Houston
PO Box 1448
BROOME WA 6725

Dear Anthony

REQUEST FOR APPROVAL OF PARAPET WALL - LOT 425 BARRGANA ROAD, BROOME - A.W. HOUSTON

I refer to your request for approval to erect a parapet wall on the boundary of lot 425 and lot 427 in Januburu Six Seasons, as received by our office on 7 September 2009.

LandCorp as the current owner of lot 427 has assessed the proposed drawings and does not object to the application to erect the parapet wall.

As lot 427 is currently on offer to another party, we have requested their opinion as a matter of courtesy. They have confirmed they do not object to the parapet wall being built provided there is no obligation for them to maintain it.

Please contact me should you wish to discuss this matter.

Yours sincerely

Margriet van Tuyl
PROJECT MANAGER

21 October 2009

