

DESIGN PRINCIPLES

Community Principles

- Responsive street layout:
 - north-south street layout enabling east-west dwellings
 - east-west street access to shops and Minyirr Park
- Interconnected street pattern
- Vehicular and pedestrian links to neighbouring facilities and coast
- roundabouts intersections define entrance to site
- roundabouts assist traffic calming
- Local identity
- Views to dunes incorporated
- High degree of legibility
- High degree of connectivity
- Dual use paths along main north-south roads and to edge of park.

Lot Layout

- Lot size and diversity typically (600 m² to 800m²) with 16 to 20 metre frontages
- Provision for 8% group housing
- Road reserves are approximately 16 to 20 metres wide
- Dwellings address the street
- Lots setback from Gubinge with Access Place
- Attached Housing 6.7% with orientation towards parks

Public Open Space

- Open space linkage from Primary Schools to Minyirr
- POS is responsive to the desires of the local community to accommodate remnant vegetation clusters and ECC connection
- Open space located within walking distance of residence
- Open space is clearly defined and open to surveillance
- Open space pockets supplement ECC and support drainage
- ECC is separated from residences by roads or dual use path reserves providing firebreak
- Direct and designated pedestrian access to Minyirr

Urban Water Management

- Application of water sensitive urban design principles
- Street networks and open space designed in the context of urban water management
- Drainage lines incorporated into edge of ECC or within POS
- Credit for POS is sought as the site is adjacent to Minyirr
- Drainage area equates to interconnected retention areas consisting of shallow swales
- Flow paths were designed to minimise public risk or damage to property and ECC
- Incorporation of swales to accommodate short term storm water detention to enable runoff control to groundwater infiltration area
- Minor storm water drainage systems, and silt/pollution traps accommodated within swales
- Provide minimum drainage maintenance through design

Built Form

- Attached dwelling sites shall have design guidelines
- Drainage lines incorporated into edge of ECC or within POS
- Credit for POS is sought as the site is adjacent to Minyirr
- Drainage area equates to interconnected retention

LEGEND

Proposed Drainage Swales
Note: Swale alignment is indicative and final position of drainage is to be site truthed.
Indicating direction of water run-off

Public Open Space

Parks & Recreation

Entrance Features to Subdivision (Cultural design input)

Environment Cultural Corridor

Development Boundary

Setback

2m Pedestrian Path

Roundabout

Subdivision Road layout indicative only

Existing tracks

Access Place

Lane

DUP

52 Lots: 550 - 699m² (R17.5)

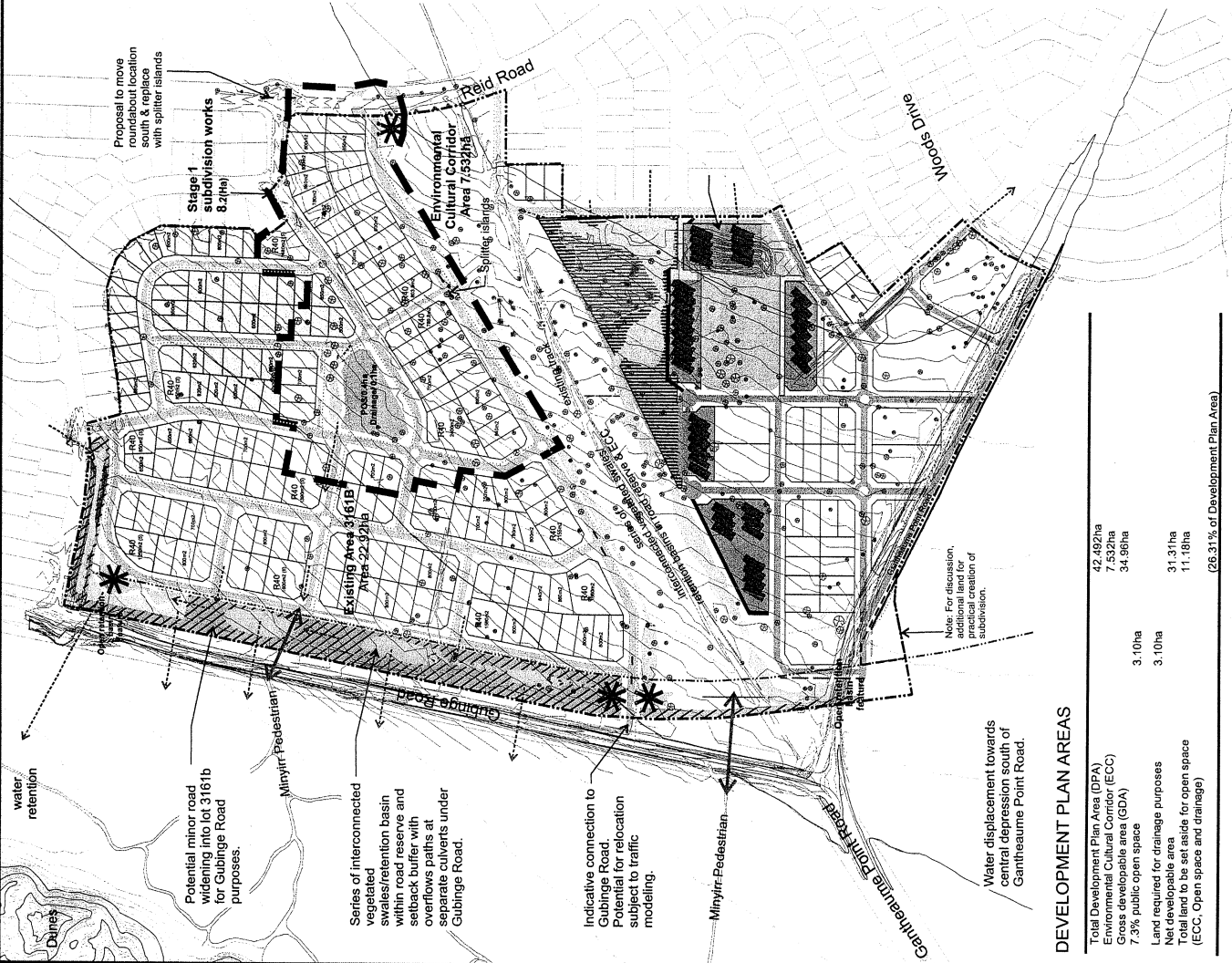
51 Lots: 700 - 799m² (R17.5)

120 Lots: 800 - 900m² (R17.5)

99 Dwellings - Group Housing R40 15 Lots

40 Dwellings - Attached Housing R50 5 lots

Total - 362 Dwellings



DEVELOPMENT PLAN AREAS

Total Development Plan Area (DPA)	42.482ha
Environment Cultural Corridor (ECC)	7.532ha
Gross developable area (GDA)	34.950ha
7.3% public open space	3.10ha
Land required for drainage purposes	3.10ha
Net developable area	31.31ha
Total land to be set aside for open space (ECC, Open space and drainage)	11.18ha
(28.31% of Development Plan Area)	

0 200m
Scale 1:5000 @ A3

Figure 11

Outline Development Plan

18-06-07

Lot 301 & 302

CABLE BEACH, BROOME