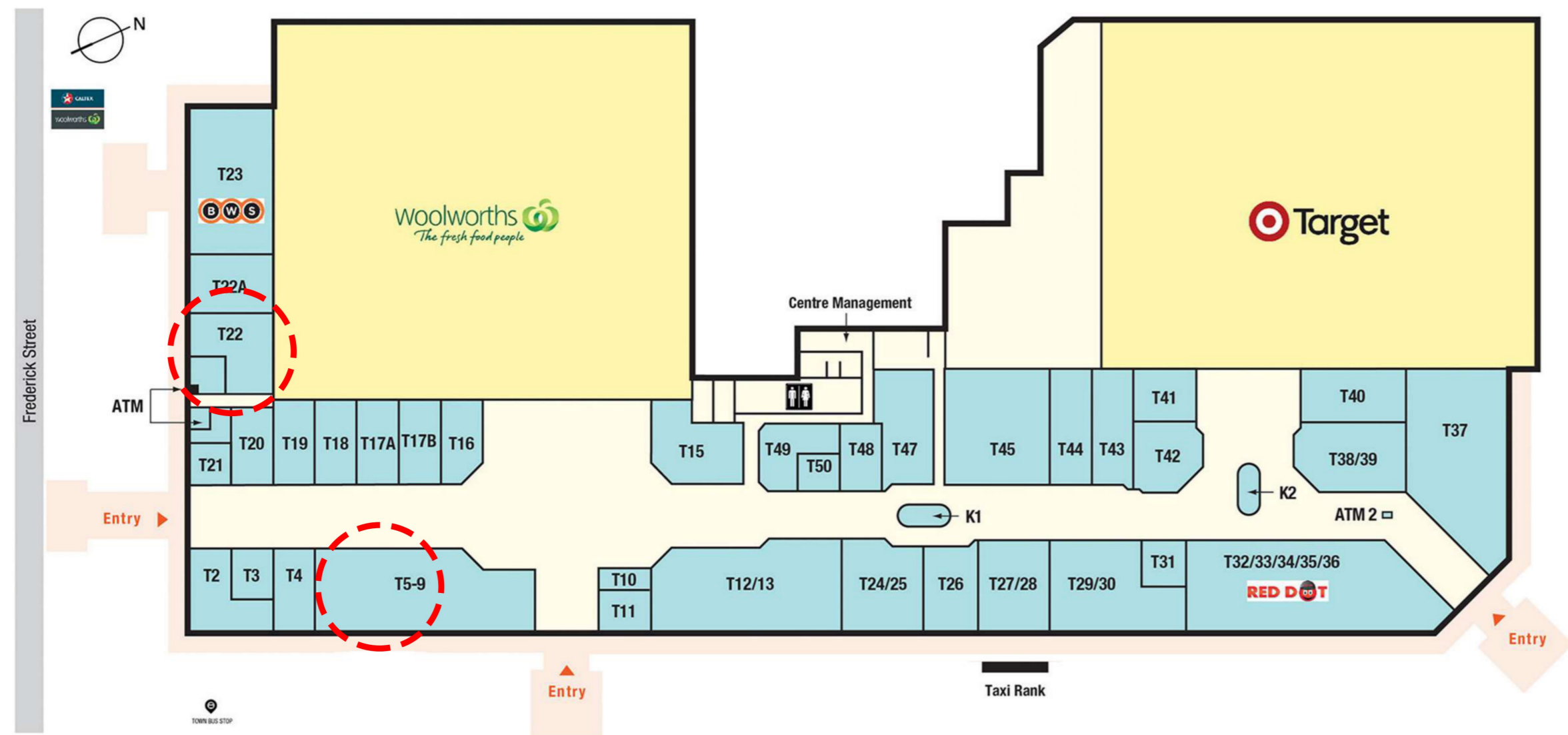


NOTE:



SITE PLAN - NOT TO SCALE

D	Revised for Quotation	23/10/20
C	Issue for Quotation	21/10/20
B	Revision to Floor Plan	13/10/20
A	Preliminary drawings for Approval	09/10/20

Revision Schedule

Contractor to verify all dimensions on site before commencing work. RWWA is to be notified of any discrepancies and setting out of work, for resolution. Copyright of designs shown hereon is retained by this office. Authority is required for any reproduction.



PR51 RACEWALL ROLLOUT SL1
 AGENCY178 Broome,
 Shop 22 Prime West Broome Boulevard,
 106 Frederick Street,
 Djugun WA 6725

RDC - DONNA MAGUIRE
 Tel: 08 9445 5321 Mob:0417 951 824
 Email: donna.maguire@rwwa.com.au

Chris Mealor
 Property Services Coordinator
 Tel: 0438 948 501
 Email: chris.mealor@rwwa.com.au

DRAWING: Site Layout

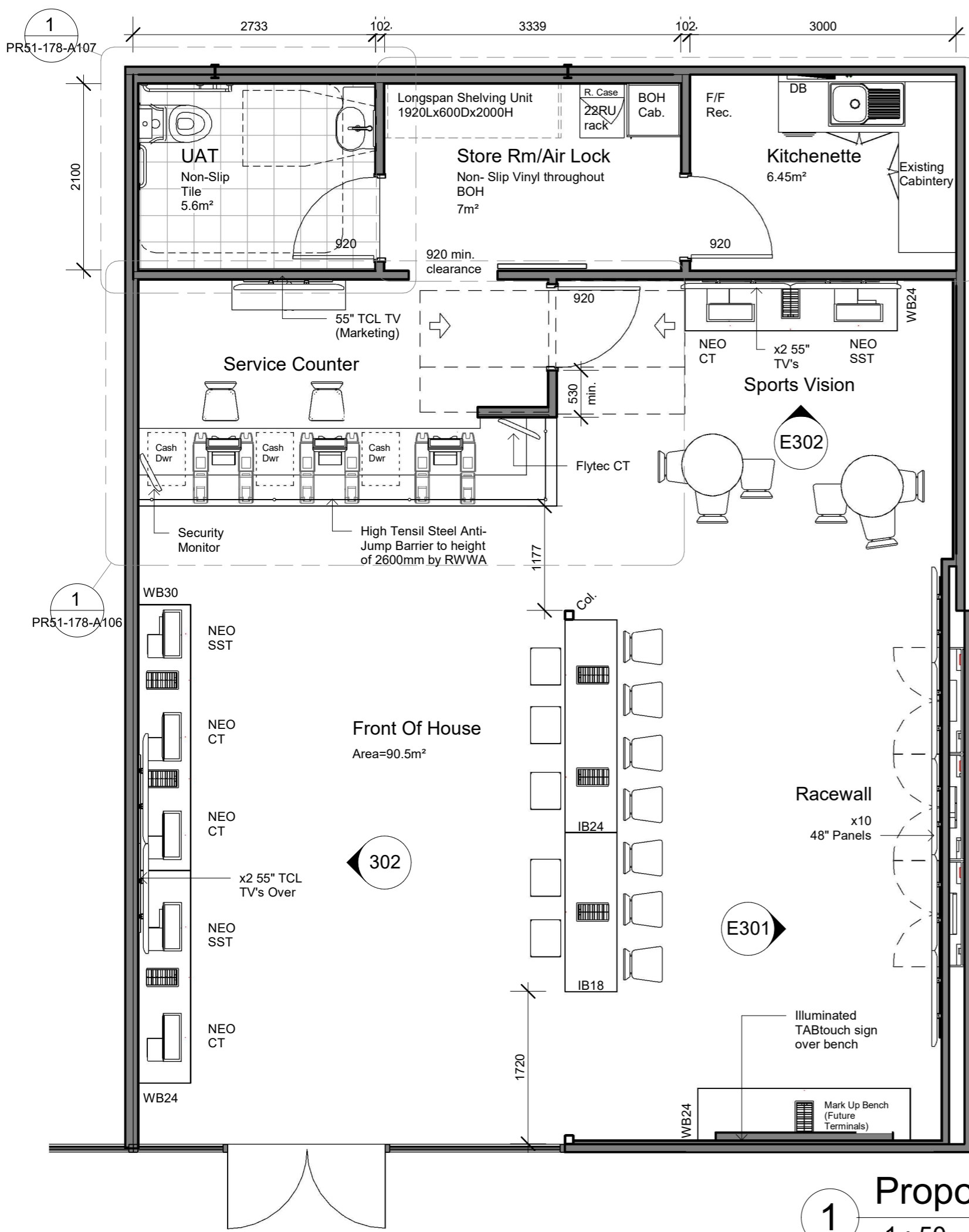
DATE:	09/10/20	DWG	PR51-178-A001
DRAWN:	S.Salmon	CHECKED:	CM
SCALE		1 : 50	



LEGEND

	DB DISTRIBUTION BOARD
	R R CASE
	PT PAYOUT TERMINAL
	ST SINGLE OPERATING TERMINAL
	D DUAL OPERATING TERMINAL
	S SKY DECODER
	T TELSTRA

23/10/2020 12:15:18 PM



Proposed TAB
 Total Area = 112m²
 Front of House = 90.5m²

NOTES

1. Refer to PR51 RWWA standard joinery drawing package for joinery details.
2. Refer to dwgs A200, A201 & A202 for elevation details.
3. Refer to finishes schedule on RWWA dwg A400 & A401 for laminate finishes.
4. Media player locations to be confirmed.
5. Refer to RWWA dwgs A301, A302 & A303 for locations of power, data & audio visual requirements.
6. Electrical/audio visual contractor to refer to RWWA standard electrical drawing PR51-01-03 for details of data cabling, wiring diagram and the like.
7. Indicative location of Racewall Master Switch. Final position to be determined.
8. For each DOT Electrical contractor to provide (x1) quad data outlet and (x2) dbl GPO's. Electrical contractor to replace existing CAT 5 data outlet at SOT with (x1) triple data outlet and (x1) dbl GPO.
9. All Electrical Works to comply with NCC Part J6 and AS/NZS 3000.
10. Latching devices to exit doors to comply with NCC D2.21
11. All new glass assemblies (if applicable) to be in accordance with AS 1288 & AS 2047.
12. Location of NVR security monitor/CIT on flytec bracket to be confirmed with RDC/Agent.

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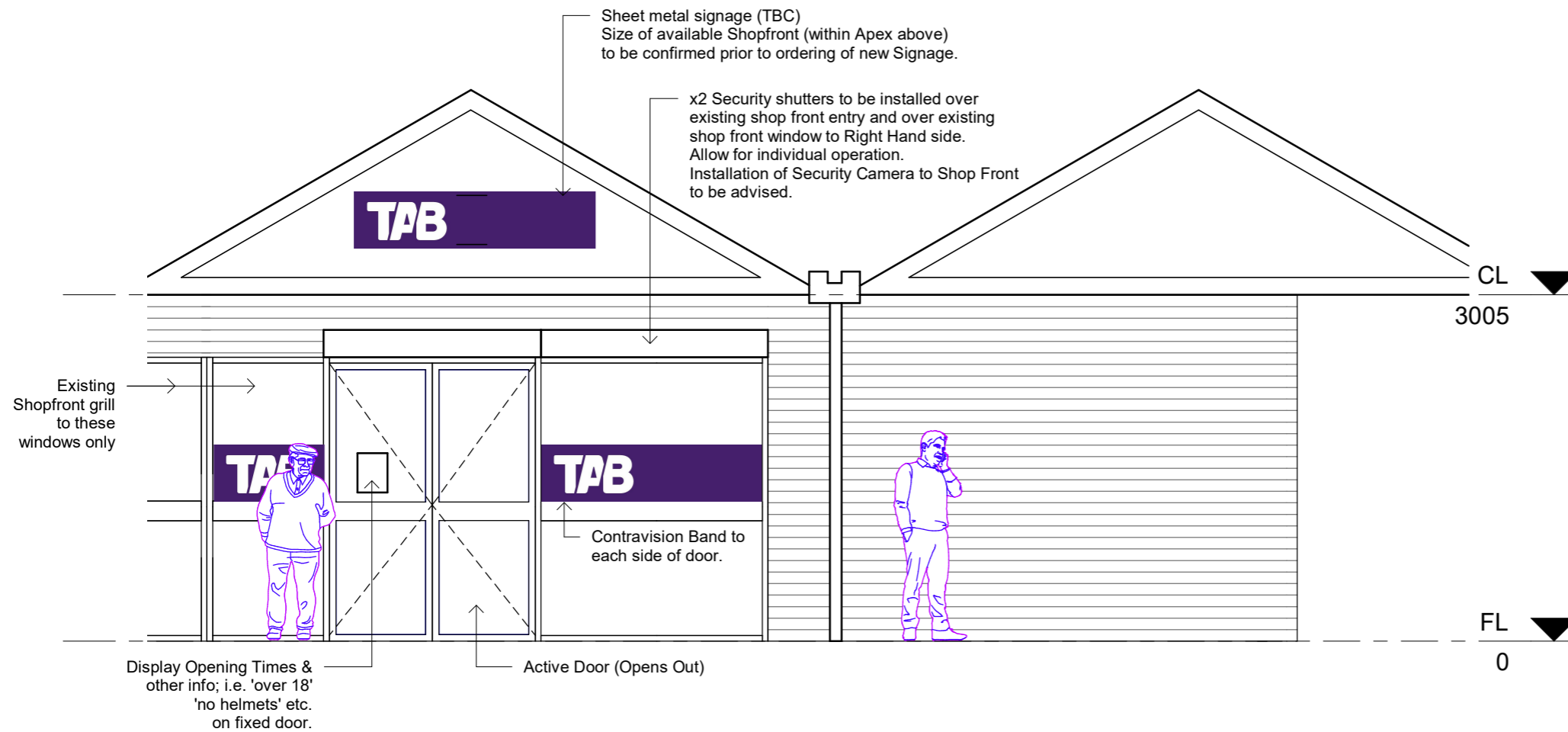
14 HASLER ROAD
 OSBORNE PARK
 WA 6017

DRAWING: **Generic Agency Layout**

DATE:	09/10/20	DWG	PR51-178-A100
DRAWN:	S.Salmon	CHECKED:	CM
SCALE		1 : 50	

1 Proposed Generic Agency Plan
 1 : 50

23/10/2020 12:15:21 PM



1 Proposed Shop Front Signage

1 : 50

D	Revised for Quotation	23/10/20
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Revision Schedule

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RACING AND WAGERING WESTERN AUSTRALIA

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Chris Mealor 14 HASLER ROAD
Property Services Coordinator OSBORNE PARK
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DRAWING: Shop Front Elevation

DATE:	09/10/20	DWG	PR51-178-A109
DRAWN:	S.Salmon	CHECKED:	DM/CM
CHECKED:	DM/CM	SCALE	1 : 50

23/10/2020 12:15:35 PM