

LEGEND

- Detailed Area Plan boundary
- Property boundaries
- Building orientation
- Fencing control
- Building envelopes with setbacks
- Indicative 1.5m wide pedestrian path

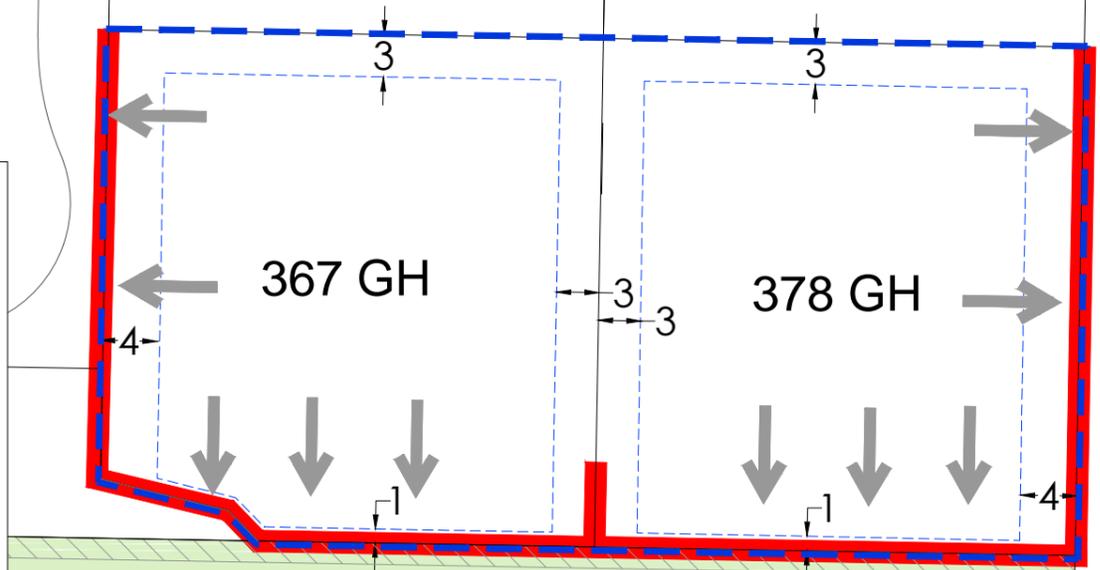
GROUP HOUSING SITES

Town Planning Scheme No.4 (the Scheme), the Residential Design Codes (R-Codes) and relevant Shire of Broome Policies are varied in the following manner:

- No. Condition
1. Consultation with adjoining or other landowners to achieve a variation of standards in accordance with the approved Detailed Area Plan is not required
 2. The primary purpose for side and rear setbacks described by the nominated building envelopes is to maintain breezeways for breeze access to dwellings throughout the development. This is not applicable to setbacks to primary and secondary street frontages and POS
 3. No buildings, including outbuildings greater than 9m², will be permitted to be constructed outside of the nominated building envelopes
 4. In relation to (3) above, open carports and roofed outdoor living areas may encroach up to 50% into the breezeways, so long as the structure does not cause any obstruction to airflow
 5. Where dwelling orientation is indicated on the plan, dwellings are to be oriented to address the relevant street / POS with major openings and entry accessible via this frontage
 6. Where fencing controls are indicated on the plan, fences are to be no higher than 1.2 metres and are to have a minimum of 50% of fencing to be 80% permeable to allow airflow or no fencing
 7. Side fencing is to be maximum 1.8 metres in height
 8. Refuse, storage and external drying areas are to be integrated with the design of the dwelling and fully screened from public view

Notes:

- 1) Except where specified above, the development should comply with the R40 requirements of the Residential Design Codes
- 2) Road pavement is indicative only and subject to final engineering drawings and survey
- 3) All due care has been taken in the preparation of this plan. However, Robertsdays, Landcorp and co-consultants cannot be held liable for inaccuracies that may occur. It is the responsibility of the purchaser to confirm relevant conditions associated with each lot
- 4) Notwithstanding indications to the contrary, the DAP does not replace the requirements of the Codes with respect to dwelling yield
- 5) Details on this plan are provided for information only and should be confirmed by a site inspection



P.O.S.
and
Drainage

The development guidelines as shown have been adopted by Council and signed by the Principal Planner.

Principal Planner _____

Date _____ Shire of Broome Ref _____