

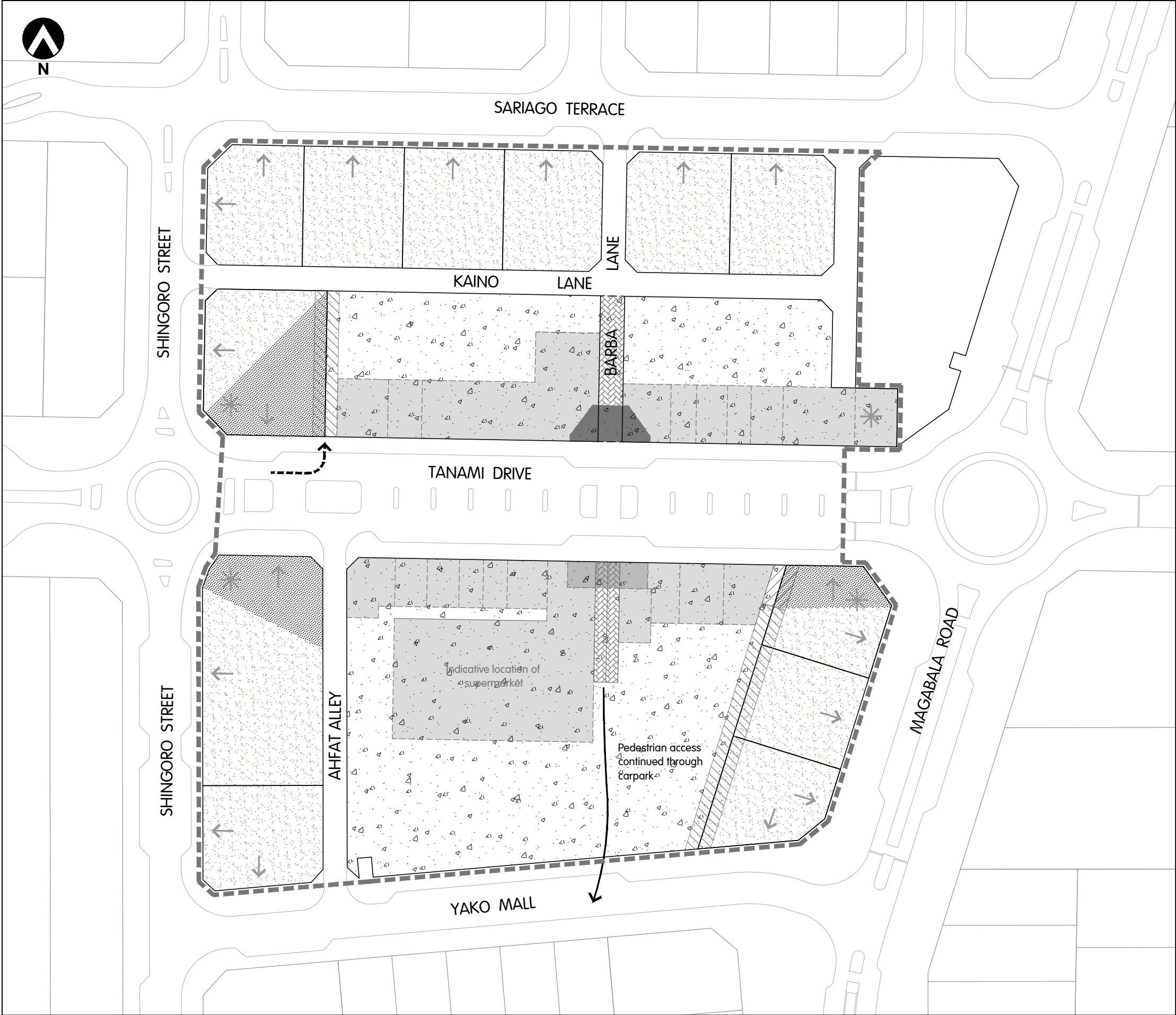
# Broome North Local Centre Local Development Plan

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REV C (JANUARY 2015)

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**LEGEND**

Lot Boundary

DAP Boundary

**Interface Typology**

Typology 1: Local Centre

Typology 2: Urban Living

Typology 3: Urban Living - Tanami Drive

Indicative Building Footprint

Public Access Easement in Gross

Reciprocal Rights of Access (vehicle)

Arcade (no vehicle access)

Vehicle Access Permissible

Forecourt

Covered Forecourt

\*

Landmark Element - Two storey buildings or raised heights on corner lots are encouraged (see note 3)

Building Orientation

- Notes:**
- Indicative Building Footprints provided as visual aid only. Footprints to be established via development application in accordance with Typology 1 - Local Centre provisions.
  - The location of public access easements, reciprocal rights of access and forecourt areas are indicative and subject to confirmation through detailed design and survey.
  - Landmark Element: This may be achieved via 2 storey development (or equivalent), balconies, public art or other architectural or landscaping features with a vertical emphasis making this out as an important gateway to the centre.
  - Road pavement is indicative only and subject to final engineering drawings and survey.
  - It is the responsibility of the purchaser to confirm relevant conditions associated with each lot.

## 1.0 BROOME NORTH LOCAL CENTRE – LOCAL DEVELOPMENT PLAN

The provisions of the Shire of Broome Local Planning Scheme No.6 (LPS6), the Residential Design Codes (R-Codes) and Local Development Plan No.1 (LDP1) are varied as detailed in this Local Development Plan (LDP).

Consultation to achieve a variation of standards in accordance with the approved LDP is not required.

### OBJECTIVES:

To ensure that development within the Broome North Local Centre and surrounds:

- 1.1 Provides for an appropriate mix of convenience retailing, health, welfare and community facilities serving the needs of the neighbourhood;
- 1.2 Creates a safe and vibrant centre accessible by a diverse range of users;
- 1.3 Contributes to the delivery of a high quality public realm providing shade and comfort for users and enabling use of the centre at all times of the day and in all seasons; and
- 1.4 Incorporates 'Broome-style' architectural principles whilst allowing for modern interpretation of its characteristic elements.

## 2.0 DEVELOPMENT CONTROL CRITERIA

LDP requirements are applied by controls depicted on the LDP. This includes compliance with the requirements of three 'Interface Typologies' depicted on the LDP with accompanying design objectives and development control criteria set out at Sections 2.1 – 2.3 below.

### 2.1 INTERFACE TYPOLOGY 1: LOCAL CENTRE

#### 2.1.1 APPLICATION:

Applies to the 'Local Centre' zone within the LDP area.

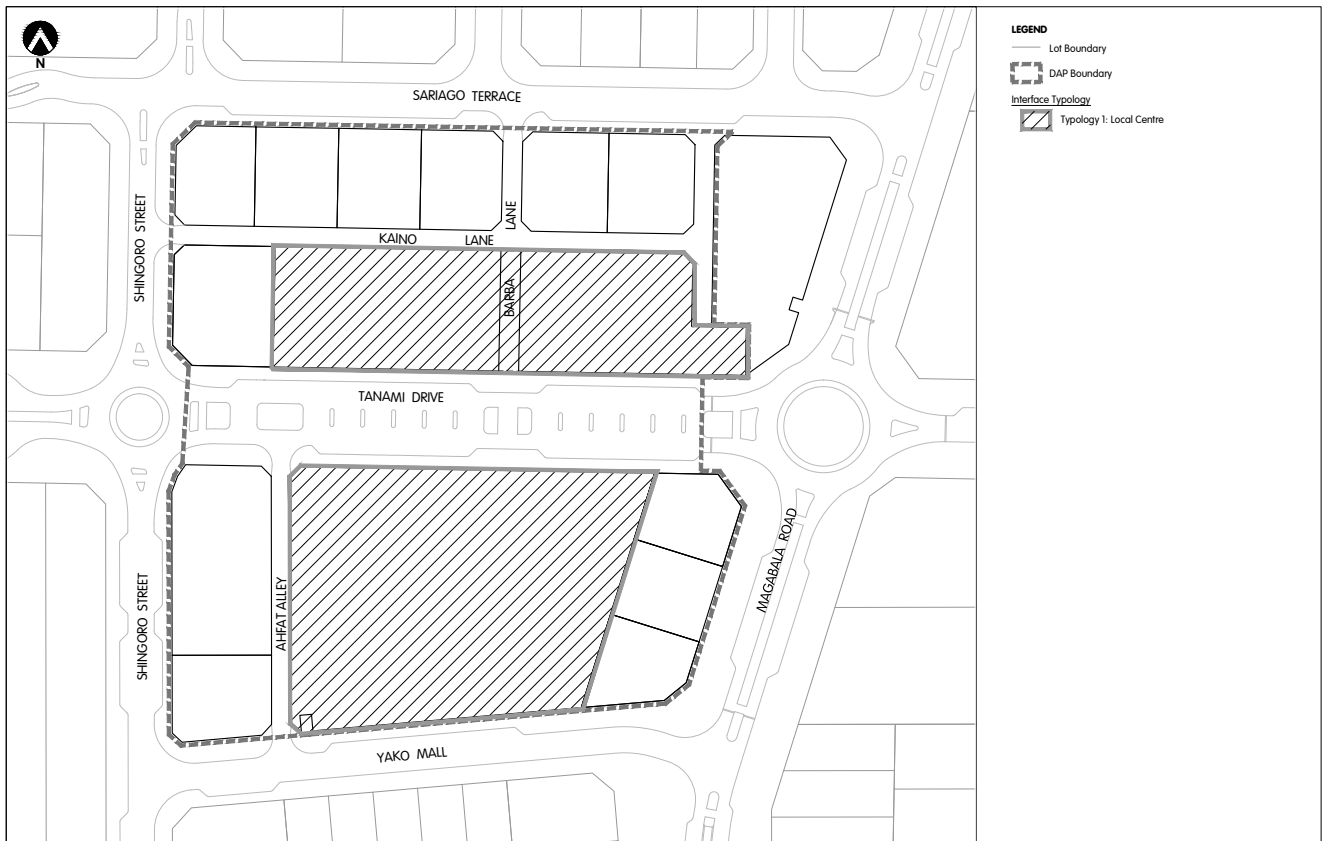


Figure 1: Typology 1 Area

### **2.1.2 DESIGN OBJECTIVES:**

- (a) Establish a 'main street' based local centre.
- (b) Create a safe and vibrant centre accessible by a diverse range of users, with buildings and public spaces that allow for casual surveillance.
- (c) Facilitate a diverse mix of retail, health, and community uses.
- (d) Promote 'Broome-style' commercial architecture whilst allowing for modern interpretation of its characteristic elements.
- (e) Provide interesting, active and well-proportioned façades, especially at ground level.
- (f) Ensure attractive and interesting elevations to all public areas.
- (g) Create flexible, robust public spaces for the community to meet and gather throughout the year.

### **2.1.3 DEVELOPMENT CONTROL CRITERIA:**

#### **(a) Building Setbacks**

- (i) Front Setback - Buildings are to have a nil setback to the street boundary, laneway or arcade except where there is a designated forecourt area depicted on the LDP.
- (ii) Side Setback - Buildings are to have a nil setback to side boundaries, except where there is a forecourt or designated access area depicted on the LDP.
- (iii) Forecourts are to be provided where depicted on the LDP.

#### **(b) Fencing**

- (i) No front or side fencing permissible.
- (ii) Solid screening fencing to a height of 1.8 metres is permissible directly adjoining loading, storage and service areas. Fencing is to be horizontal timber style fencing either painted or pre-finished.

#### **(c) Vehicle Access and Parking**

No direct vehicle access to properties from Tanami Drive is permitted except where designated on the LDP.

#### **(d) Residential Development**

The residential component of a development must comply with the relevant development control criteria detailed at Section 2.3 - Interface Typology 2, except that clause 4.33.1(e) of the Scheme requiring residential development in the Local Centre zone to be located above or behind non-residential development on-site continues to apply.

#### **(e) Building Height**

A minimum building height of 2 storeys is preferred.

**(f) Street Facade**

**(i) Street Facade Treatment**

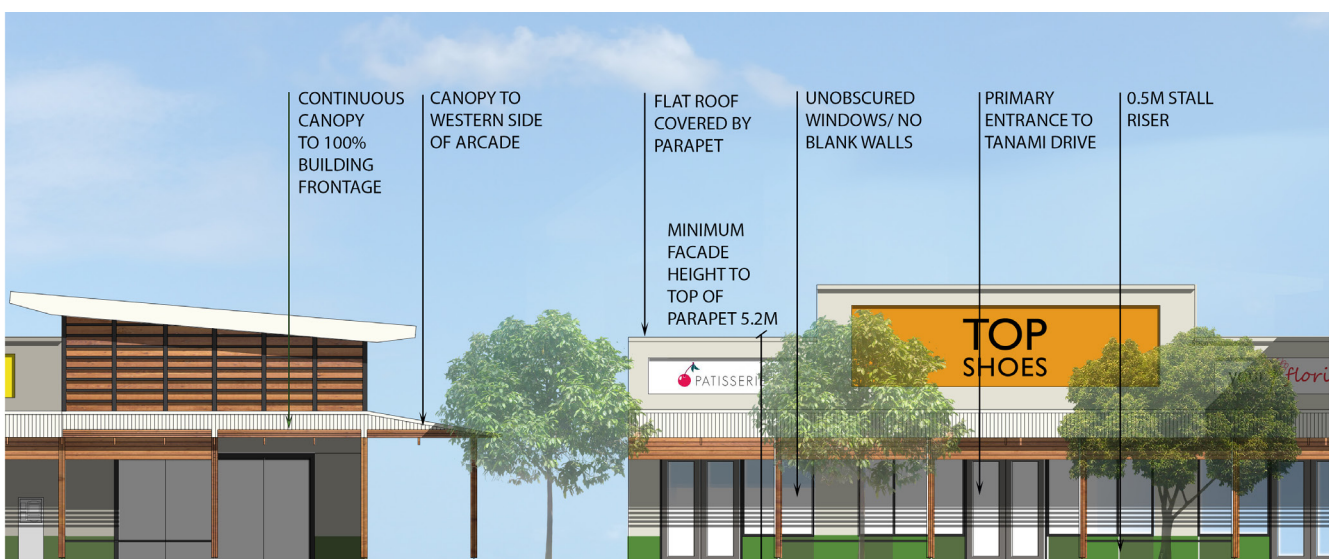
1. 100% of the Tanami Drive boundary is to be developed with building frontage except where there is a forecourt, arcade, public access easement in gross or reciprocal right of access area depicted on the LDP.
2. Blank street facades at ground level shall not exceed 1.5 metres in length at any one point.
3. Where development is located on a corner (of a street, laneway, arcade or forecourt) it is to be designed so that the secondary façade complements the primary street facade, with the same design qualities and character.
4. For single storey development, either a minimum façade height of 5.2 metres is required to the top of the parapet, or a minimum overall height of 5.2 metres is required to the ridgeline of gabled construction.
5. Articulated roof forms, as opposed to skillion or flat roof profiles, are encouraged.
6. Where flat roofs are used, the roof is to be dealt with at all publically visible elevations (including car parking areas) with either a parapet or other means to create an acceptable public elevation.

**(ii) Entrance to street**

1. Each tenancy is to have its primary entrance to Tanami Drive.
2. Commercial tenancies of 350m<sup>2</sup> or less can be provided with secondary entrances off the arcade, laneway or adjacent public open space area within the front half of the building abutting Tanami Drive.
3. For commercial tenancies of 350m<sup>2</sup> or greater, an exit only can be provided off the adjacent arcade within the front half of the building abutting Tanami Drive.

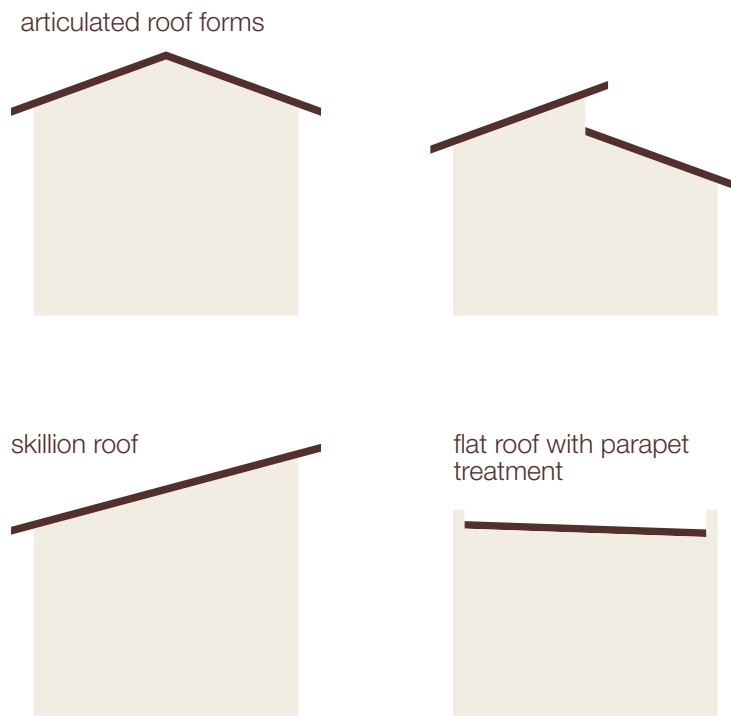
**(iii) Windows (street level)**

1. A minimum 70% of the area of the ground floor façade to Tanami Drive and any adjacent forecourt or arcade is to comprise windows.
2. Reflective or tinted glazing, permanent window coverings, opaque film, signage or any device that prevents views into the interior of the building is not permitted.
3. Rollershutters or visually impermeable security screens are not permitted to the street façade of Tanami Drive or the façade adjacent to any forecourt or arcade.
4. Stall risers are preferred façade elements and where provided, are to have a minimum height of 0.5m.
5. Well-lit displays/window dressing boxes are encouraged to Tanami Drive.



**Figure 2: Illustrative Representation of Typology 1 Development Controls**

NB: This figure provides clarification on interpretation of the development controls and is not a design.



**Figure 3: Examples of Roof styles**

(iv) Facade Canopy Requirements

1. All development fronting Tanami Drive is to include a canopy to 100% of the Tanami Drive building frontage in accordance with the mandated canopy design (Appendix One).
2. All development on the western side of the arcade is to include a canopy to 100% of the building façade on this elevation in accordance with the mandated canopy design (Appendix One).
3. The requirements of clauses 2.1.3 (f) (iv) 1. and 2.1.3 (f) (iv) 2. are varied where a covered forecourt is depicted on the LDP. In this case, the extent of the forecourt area depicted on the LDP is to be covered with a permanent, all weather canopy, suitable to cyclonic conditions.
4. All canopies, verandahs, awnings and other overhangs are to have a minimum vertical clearance of 2.7 metres above finished footpath level.

**(g) Lighting**

- (i) Development with frontage to Tanami Drive, a forecourt and/or arcade is to provide lighting underneath the required canopy to promote night-time security.
- (ii) Up-lighting of upper floor facades is encouraged.

**(h) Building Services**

- (i) Building services such as air conditioning units, satellite dishes, TV antennae, solar hot water units and photovoltaic panels shall be screened from public view or located in the least visibly obtrusive location from adjacent streets, laneways and parks. The location of proposed building services must be depicted on any application for development approval.
- (ii) Building services should be finished in a similar colour to the roof and located to minimise potential nuisance, such as noise, to neighbouring properties.



**(i) Landscaping**

- (i) The landscaping requirements at clause 4.33.1(b) of the Scheme do not apply.
- (ii) A landscaping plan including parking and service zones is to be submitted for the approval of the Shire of Broome with any development application, addressing the following requirements:
  - 1. Tree planting in open parking areas provided at a rate of not less than one tree for every four carparking bays and spaced evenly to provide shade;
  - 2. To provide effective shade, nominated tree species in open parking areas are to have a minimum tree canopy diameter at maturity of 5 metres;
  - 3. Where a forecourt or arcade is depicted on the LDP, tree planting and public seating in these areas; and
  - 4. To support the growth and protection of shade trees, each tree trunk is to have a minimum of 1.8 metres diameter access to water and mulch.

**(j) Loading, Storage and Service Areas**

- (i) To be located behind buildings and screened from public view from adjacent streets, arcades, laneways and parks.
- (ii) To be located away from adjoining residential development to minimise the potential for noise and nuisance.

**(k) Retail Floorspace Allocation**

- (i) Notwithstanding the provisions of the Scheme, and in accordance with the Broome North Local Development Plan No.1, the allowable retail floorspace in the Local Centre zone will be limited to 3,000m<sup>2</sup> of retail land-use.
- (ii) For the purposes of this LDP, retail land-use is to be consistent with the land-use 'shop' as defined in the Scheme, but does not include the land-uses of 'restaurant' or 'personal services'.
- (iii) For the purposes of this LDP, the land-use 'personal services' means "the use of land or buildings for the provision of services of a personal nature and includes a hairdresser, beauty therapist, manicurist and the like but does not include a shop, restricted premises or a building used for any medical purpose.

## 2.2 INTERFACE TYPOLOGY 2: URBAN LIVING

### 2.2.1 APPLICATION:

Applies to residential development not fronting Tanami Drive within the LDP area.

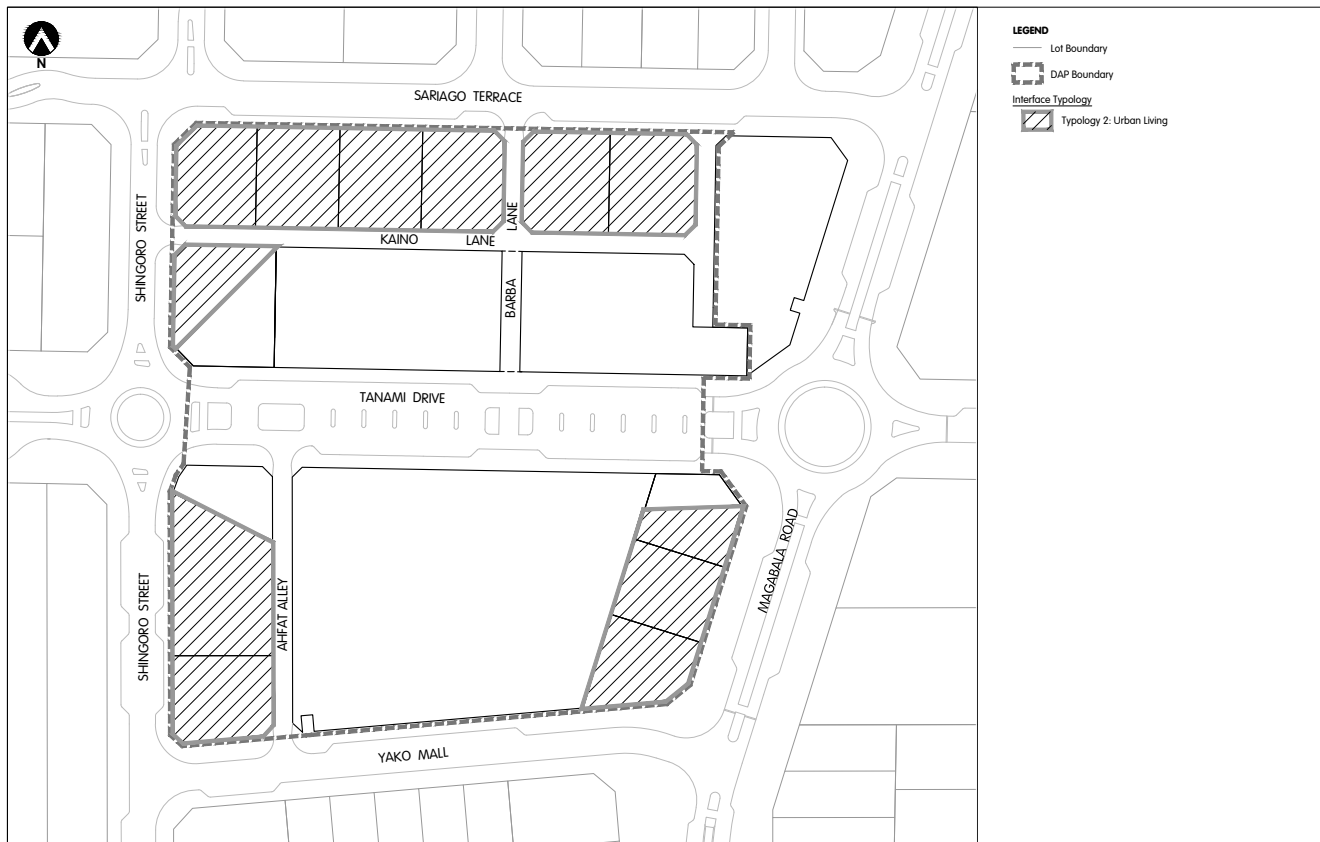


Figure 4: Typology 2 Area

### 2.2.2 DESIGN OBJECTIVES

- (a) Ensure homes are well planned to take advantage of light and breeze whilst maintaining a level of thermal comfort and 'liveability' in the tropical Broome climate.
- (b) Promote 'Broome-style' residential architecture whilst allowing for modern interpretation of its characteristic elements.

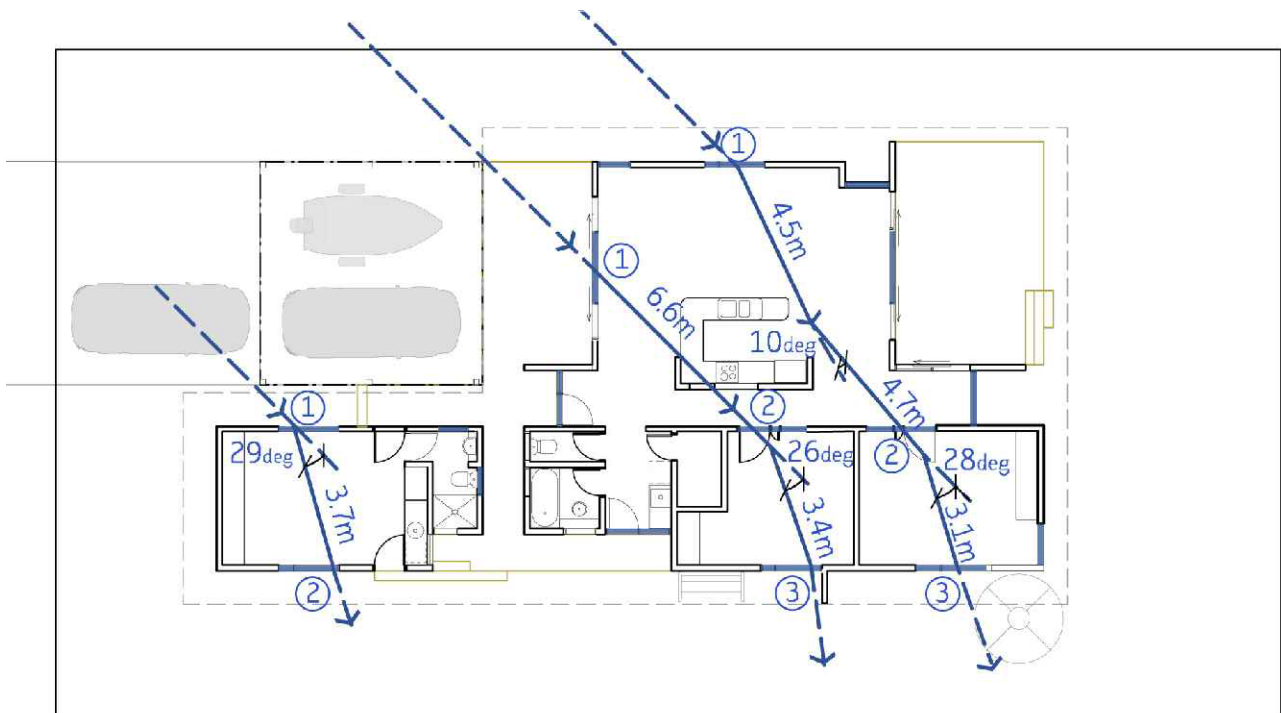
### 2.2.3 DEVELOPMENT CONTROL CRITERIA

#### (a) Building Setbacks and Orientation

- (i) Clause 4.33.1(e) of the Scheme requiring residential development to be located above or behind non-residential development on-site does not apply.
- (ii) Where building orientation is indicated on the plan, buildings are to be oriented to address the relevant street with major openings to, and primary entry accessible from, this frontage.
- (iii) Corner dwellings must equally address both street frontages, avoiding long blank walls through the use of appropriate windows, openings, outdoor areas and roof form.
- (iv) Minimum building setbacks (no averaging is permitted):
  - 1. Front – 2 metres
  - 2. Secondary Street – 1 metre
  - 3. Side – Nil permissible to both side boundaries, subject to a breezeway of 3 metres being provided within the lot, otherwise 3 metres to one side boundary.
  - 4. Rear – Nil permissible
- (v) No buildings are permitted to be constructed within the breezeway required at 1.4(iii), excepting open carports and roofed outdoor living areas, which may encroach up to 50%, so long as the structure does not cause any obstruction to airflow.

**(b) Solar Control and Airflow**

- (i) Minimum eave overhang of 900mm to all walls, excluding boundary walls.
- (ii) All windows not shaded by a 900mm or greater eave overhang, are to be shaded by a vertical or horizontal device such as an awning, pergola, louvre or approved alternative suitable to cyclonic conditions.
- (iii) Habitable rooms must have at least one operable window/opening on each external wall. (Note: If there are more than two external walls to the room, only 2 openings need to be provided.)
- (iv) All windows must have minimum 50% openable area (avoid awning type windows) and windows to habitable rooms must have an opening of at least 1m<sup>2</sup>.
- (v) Breeze paths must have a maximum length of 15 metres through a maximum of 3 windows, doors or other openings. Breeze paths must not crank more than 35 degrees in their passage through the house plan.



**Figure 5: Breeze Paths**

NOT TO SCALE

**(c) Open Space**

- (i) Minimum site open space of 40% to be provided.
- (ii) Minimum outdoor living area of 16m<sup>2</sup> to be provided.
- (iii) The primary outdoor living area must be covered, and directly accessible from an internal living space.
- (iv) The primary outdoor living area must be constructed of the same or complementary materials as the main dwelling.
- (v) The primary outdoor living area must be located with access to westerly breezeways. Where westerly access cannot be directly achieved, access to westerly breezes is to be created through roof form or other wind scoop measures.

**(d) Fencing**

- (i) Fences to street boundaries showing building orientation shall be no higher than 1.2 metres, with a minimum of 50% of its area to be 80% permeable to allow airflow.
- (ii) In relation to 2.2.3 (d) (i) above, fence height only may be varied to a maximum of 1.8 metres to secondary street frontages to provide privacy for the portion of boundary directly adjacent to an outdoor living area.
- (iii) Side fencing to common boundaries is to be a maximum 1.8 metres in height.

**(e) Vehicle Access**

- (i) Vehicle access must be taken from either an adjacent laneway or reciprocal rights of access area designated on the LDP.
- (ii) Vehicle and pedestrian access must be separate and clearly distinguishable.

**(f) Building Height**

Building height of 2 storeys is preferred.

**(g) Roofs**

- (i) Roofs must have a pitch of at least 17.5 degrees.
- (ii) Roof ventilation must be installed such as wind-driven mechanical ventilators, vented gables or 'E' vents.

**(h) Rear Development**

- (i) Where two storey development is provided, at least one major opening from a habitable room from at least one dwelling is to overlook the adjacent laneway or reciprocal rights of access area depicted on the LDP.
- (ii) The rear elevation of the dwelling / building should complement the rest of the dwelling / building, with the same design qualities and character.

**(i) Building Services and Incidental Development**

- (i) Refuse, storage and external drying areas are to be integrated with the design of the dwelling and screened from public view from adjacent streets, laneways and parks.
- (ii) Building services such as air conditioning units, satellite dishes, TV antennae, solar hot water units and photovoltaic panels shall be screened from public view or located in the least visibly obtrusive location from adjacent streets, laneways and parks. The location of proposed building services must be depicted on any application for development approval.
- (iii) Building services should be finished in a similar colour to the roof and located to minimise potential nuisance, such as noise, to neighbouring properties.
- (iv) Freestanding structures and outbuildings larger than 9sqm and visible from the street must be constructed of complementary materials to the house.

## 2.3 INTERFACE TYPOLOGY 3: URBAN LIVING – TANAMI DRIVE

### 2.3.1 APPLICATION:

Applies to residential development with frontage to Tanami Drive within the LDP area.

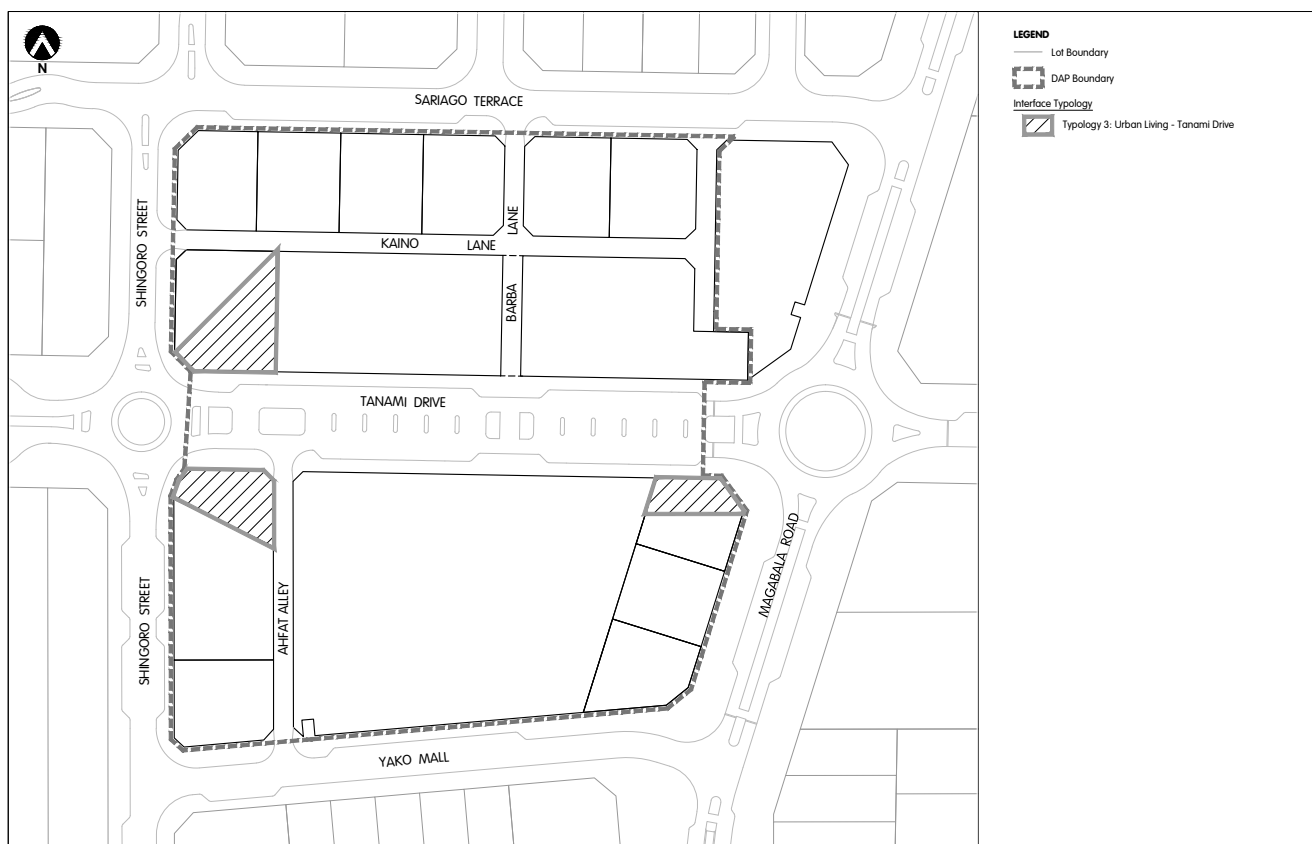


Figure 6: Typology 3 Area

### 2.3.2 DESIGN OBJECTIVES

- (a) As per Section 2.2 - Interface Typology 2.
- (b) Provide interesting, active and well-proportioned façades to Tanami Drive, especially at ground level, consistent with its 'main street' character.

### 2.3.3 DEVELOPMENT CONTROL CRITERIA

In addition to complying with the development control criteria detailed at Section 2.2 - Interface Typology 2, the following requirements apply.

The criteria at this part prevail to the extent of any inconsistency with the criteria at Section 2.2.

#### (a) Vehicle Access

No direct vehicle access to properties from Tanami Drive is permitted except where designated on the LDP.

#### (b) Street Setback Area and Façade Treatment

- (i) A well-articulated street façade is required which includes:
  - 1. The front door/main entry visible and accessible from Tanami Drive;
  - 2. Ground floor windows with a clear view of the street;
  - 3. No areas of blank wall greater than 1 metre in length; and
  - 4. A veranda with a minimum depth of 1.5 metres to provide effective weather protection and useability and setback a minimum of 2 metres from Tanami Drive.
- (ii) Covered outdoor areas are encouraged at first floor level to provide passive surveillance of Tanami Drive.

**(c) Landscaping**

A landscaping plan including the street setback area and any parking and service zones (where applicable) is to be submitted for the approval of the Shire of Broome with any development application, addressing the following requirements:

- (i) The street setback area is to comprise a combination of hard and/or soft landscaping and include at least one tree capable of achieving a minimum height at maturity of 2.5 metres;
- (ii) For non-residential development, tree planting in any open parking areas provided at a rate of not less than one tree for every four carparking bays and spaced evenly to provide shade;
- (iii) To provide effective shade, nominated tree species in open parking areas are to have a minimum tree canopy diameter at maturity of 5 metres; and
- (iv) To support the growth and protection of shade trees in open parking areas, each tree trunk is to have a minimum of 1.8 metres diameter access to water and mulch.

**(d) Non-residential Development**

Non-residential development will comply with the development control criteria detailed at Section 2.1 - Interface Typology 1.



**Figure 7: Illustrative Representation of Typology 3 Development Controls**

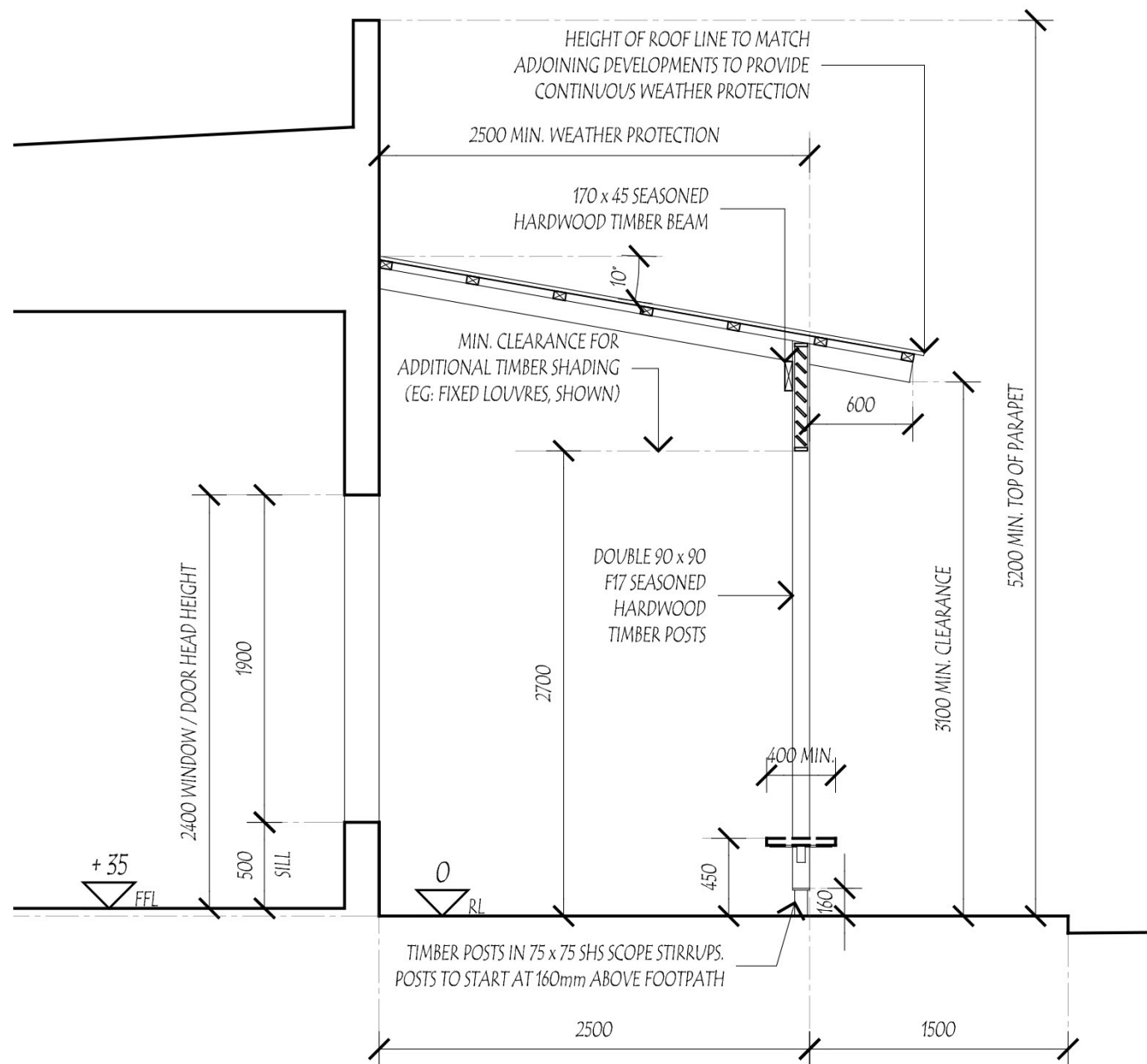
NB: This figure provides clarification on interpretation of the development controls and is not a design.



# Appendix One Canopy Design







## NOTES

### GENERAL:

- ALL STRUCTURES MUST OBTAIN STRUCTURAL CERTIFICATION
- ALL STRUCTURES MUST MEET RELEVANT BUILDING CODE OF AUSTRALIA REQUIREMENTS
- ALL STRUCTURAL MATERIALS TO BE SUITABLY PROTECTED FROM MOISTURE AND HUMIDITY INGRESS
- VERANDA STRUCTURE IS TO BE OF TIMBER CONSTRUCTION. TIMBER POSTS ARE TO SIT IN GALVANIZED STEEL STIRRUPS (75 x 75 STEEL SHS)
- SEATING REQUIRED TO AT LEAST 1/3 THE WIDTH OF EACH SHOP FRONT
- ALL DESIGNS ARE TO INCORPORATE TIMBER SHADING INTO THE DESIGN SOLUTION. TIMBER COMPOSITE MATERIALS TO BE CONSIDERED TO REDUCE MAINTENANCE. PROPOSED DESIGNS TO BE APPROVED AT THE DISCRETION OF THE APPROVAL AUTHORITY

### FINISH REQUIREMENTS:

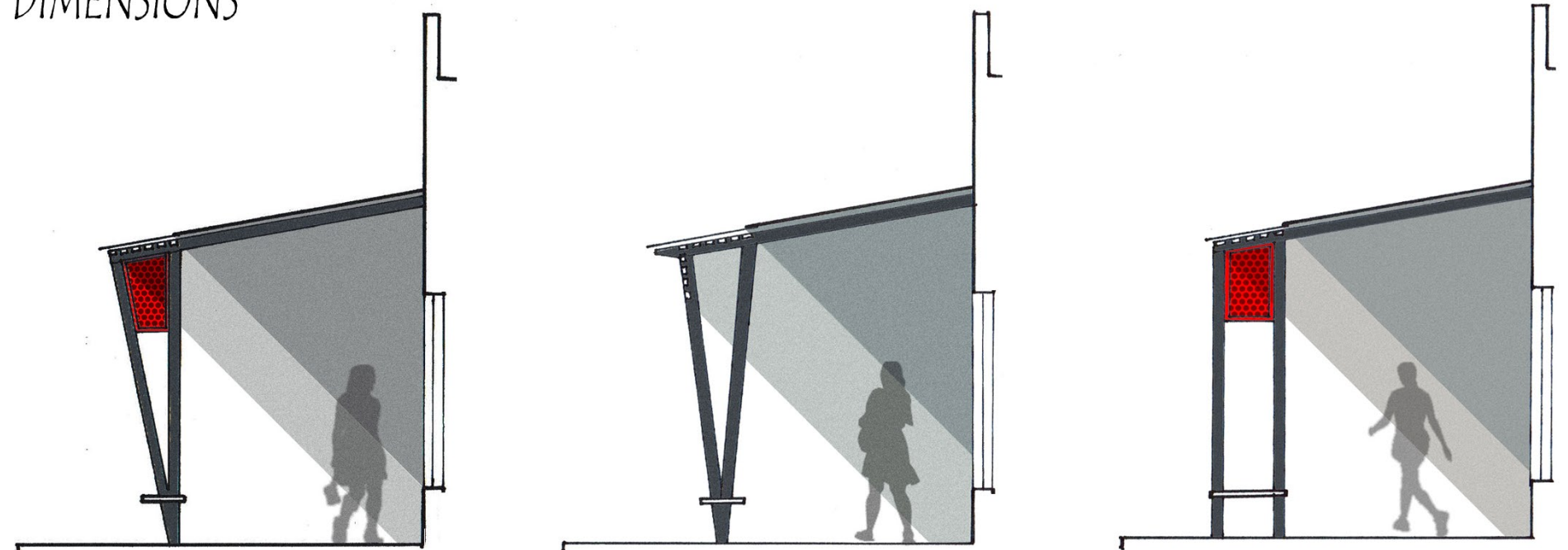
- HARDWOOD TIMBER IS TO BE SUITABLY PROTECTED IN A NATURAL FINISH TO REDUCE MAINTENANCE
- 70 x 45 MGP10 TREATED PINE (TO BE USED FOR ROOF BATTENS ONLY) TO HAVE A PAINTED FINISH

### MATERIALS PALETTE:

- VERANDA ROOFING, 0.42 COLORBOND CUSTOMORB PROFILE
- WALL CLADDING, COLORBOND CUSTOMORB PROFILE
- SEATING TO BE STEEL SLAT, OR PERFORATED STEEL

## VERANDA AND SHOP FRONT MANDATORY DIMENSIONS

TO BE READ IN CONJUNCTION WITH DESIGN GUIDELINES



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# ADOPTION OF LOCAL DEVELOPMENT PLAN

LOCAL DEVELOPMENT PLAN NO. 1 – BROOME NORTH LOCAL CENTRE

WAS ADOPTED BY

RESOLUTION OF THE COUNCIL OF THE SHIRE OF BROOME ON

26 FEBRUARY 2015

The COMMON SEAL of the )  
SHIRE OF BROOME )  
was hereunto affixed in )  
the presence of: )



  
GT Campbell  
SHIRE PRESIDENT

  
KR Donohoe  
CHIEF EXECUTIVE OFFICER

DATE: 3/15