

<b>TITLE:</b>	<b>DESIGN GUIDELINES - TOWN CENTRE ZONE</b>
<b>ADOPTED:</b>	OMC 27 February 2014 – Item 9.2.5 Pages 64 - 67
<b>REVIEWED:</b>	OMC 30 July 2015 – Pages 28 – 40 OMC 17 December 2015 – Pages 110 – 121 OMC 25 May 2017 – Pages 85 – 260 OMC 14 December 2017 – Pages 1030 – 1043 OMC 12 December 2019 – Pages – 213 - 221
<b>ASSOCIATED LEGISLATION:</b>	Planning and Development Act 2005 Local Planning Scheme No 6 (LPS6)
<b>ASSOCIATED DOCUMENTS:</b>	
<b>REVIEW RESPONSIBILITY:</b>	Director Development & Community Services
<b>DELEGATION:</b>	Delegations are exercised in accordance with delegation granted in terms of Section 5.42 of the Local Government Act 1995 as amended or other statutes as applicable to specified officers.
<b>APPLICATION</b>	This policy applies to the Town Centre zone within Local Planning Scheme No 6.

---

Previous Policy Number 8.21

**Background:**

The Town Centre Design Guidelines were prepared as a part of the Chinatown Development Strategy, which was adopted at the Ordinary Meeting of Council in February 2013.

The Design Guidelines in the Chinatown Development Strategy incorporate background information that includes context, desired character and design guidance. The provisions of this Local Planning Policy include the Development Control provisions only as these are the provisions that applications for development approval will be assessed against. The background information in the Chinatown Development Strategy should be referenced to understand the context and objectives of the Development Controls in this Local Planning Policy.

In accordance with the recommendations in the Chinatown Development Strategy, these Design Guidelines also apply to the Town Centre zone to the west of Hamersley Street/Old Broome Road.

**Objective:**

To ensure that the built form of all development within the Town Centre Zone:

1. Reinforces Chinatown and the Town Centre zone as the preeminent commercial centre of Broome.
2. Supports the provision of an active, vibrant and energetic Town Centre zone.
3. Reveals, interprets and conserves Chinatown cultural heritage.
4. Reveals, interprets and conserves the unique natural environment

The Design Guidelines Chinatown will be reviewed and updated on a regular basis to ensure that all development outcomes reflect best practice planning initiatives. Such a review shall not trigger a requirement to review this policy.

**Definitions:**

Nil

**Policy:**

**Desired Character**

- 1.1 Development must retain a clear vista at ground level along Short Street and Napier Terrace to Roebuck Bay.
- 1.2 Development should front and engage with both Dampier Terrace and Roebuck Bay.

**Urban Design**

**2.1 Crime Prevention through Environmental Design**

- 2.1.1 Along frontages and other pedestrian areas, development must incorporate and operate lighting underneath the canopy at ground level to promote after-hours security of areas under verandahs and awnings that are insufficiently lit by existing street lighting.
- 2.1.2 Development must not incorporate the use of reflective or dark glazing, permanent window coverings, opaque film, signage or any device that prevents views into non-residential buildings and hides the presence of activity within the building.
- 2.1.3 Building designs must provide clear sightlines from living spaces, balconies, hospitality and commercial areas to public spaces and vice-versa.
- 2.1.4 Opportunities for casual surveillance must be provided from inside buildings to the public realm.
- 2.1.5 Building entrances must optimise visibility and safety through being positioned in a prominent location within clear view of the street frontage, orientated towards the street with lighting.

2.1.6 Fencing in front of the facade must be of an open style (visually permeable) to allow passive surveillance between public and private realms.

## 2.2 Pedestrian Friendly Streets

2.2.1 All non-residential buildings fronting the street must provide continuous weather protection and shading along footpaths through the use of awnings, upper level building overhangs, colonnades and verandahs of a minimum width of 3 metres for the full length of the street frontage between the building and the street.

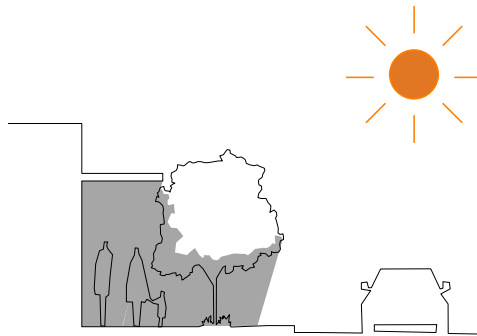


Figure: Provide continuous weather protection and shading along footpaths

2.2.2 Pedestrian laneways and courtyards must be at least 3 metres in width and be provided with at least 2.8 metres vertical clearance above the finished level of the laneway or courtyard.

2.2.3 In any development making use of public land such as the street verge, eg. for alfresco dining, the developer must install shade trees within the verge to assist in providing shaded verge areas for pedestrian comfort.

2.2.4 All verandahs, awnings and other overhangs are to have a minimum vertical clearance of 2.8 metres above finished footpath level.

2.2.5 Verandah posts are to be setback a minimum of 0.5m from travel lanes and parking areas.

2.2.6 All verandahs, awnings and other overhangs must be designed to ensure they do not inhibit trees in the public domain achieving full mature canopies.

2.2.7 Alfresco structures within verge areas must provide integrated public access ways through the alfresco area.

## 2.3 Active Edges

2.3.1 Buildings must directly address streets and public places.

2.3.2 Development must provide clearly delineated building entries and associated elements to emphasise their visible presence from various approaches to the building.

- 2.3.3 Development must avoid or minimise blank walls presenting flat surfaces without detailing, openings or activity as viewed from the street and public spaces.
- 2.3.4 Development must ensure that car parking structures, building plant and service areas are screened from streets and thoroughfares by suitable development and/or landscaping.
- 2.3.5 Vehicle entries to premises including car parking areas must be located and designed so that they do not detract from street plantings or the safety, convenience and quality of the pedestrian environment.
- 2.3.6 Separate pedestrian entrances must be provided for residential and commercial uses.
- 2.3.7 Buildings must directly address streets and public places including Male Oval, laneways and Roebuck Bay.
- 2.3.8 Development must establish and maintain relatively continuous edges of built form along street frontages with gaps coinciding with important vistas, and any 'at grade' car parking areas and entries located and designed to minimise interruption of the built-form facing these streets.
- 2.3.9 On-site car parking must not be located between facades and the street boundary.
- 2.3.10 Edges of large-format retail stores or complexes must ensure that there are active frontages to all public streets with the active frontage flanked by smaller-scale premises, active uses and other features that promote street activation and passive surveillance of the street.

## 2.4 Setbacks

- 2.4.1 Buildings must be setback 0-2 metres from the street boundary.
- 2.4.2 Buildings seeking a setback of 0 metres to the boundary must incorporate a weather protection/shading structure as detailed under 2.2.1.

## 2.5 Light Spill

- 2.5.1. Outdoor lighting must be directed downwards with no light spill above the horizontal plane.
- 2.5.2 Lighting must not pose a risk to aviation.

## 2.6 Plot Ratio

- 2.6.1 Non-residential development should not exceed a plot ratio of 1 and a site coverage of 75%.

## 2.7 Floor Levels and Floor Protection

- 2.7.1 Development must comply with an absolute minimum fill level of 5.3m A.H.D. and a minimum floor level of 5.7m A.H.D., or, levels as may be varied by the Scheme based on new research and the relevant State Planning Policy.

## **Built Form Design**

### 3.1 Height

- 3.1.1 Building height and the bulk of upper levels must maintain a compatible scale with adjacent development, and in any case, the height of buildings must not exceed a wall height of 10 meters and a building height of 14 metres.
- 3.1.2 The Obstacle Limitation Surface for Broome International Airport must not be penetrated by any building or structure.

### 3.2 Building Depth

- 3.2.1 Residential apartments (multiple dwellings) or multi-storey accommodation units must have a building depth of no greater than 18 metres.

### 3.3 Floor Level

- 3.3.1 To promote adaptability for future uses, for any residential development the ground floor to first floor height must be at least 4.2 metres, with a floor-to-floor height of at least 3.2 metres in each upper storey of a multi-storey building.

### 3.4 Heritage

- 3.4.1 Clauses 3.4.2 to 3.4.4 only applies to buildings within the Chinatown Conservation Area on the State Register of Heritage Places or buildings listed on the Heritage List.
- 3.4.2 Alterations and additions to places of heritage value must enhance the established heritage value and be compatible with the design, siting, scale, built form, materials and external finishes.
- 3.4.3 New and original developments must be able to be clearly identified as of a different development period but compatible in form, colour, materials, height, bulk, scale and relationship to adjacent heritage buildings.
- 3.4.4 Development must conserve, maintain, enhance and reinforce the existing streetscape and the historic character of individual buildings, exhibiting architectural and roof forms, designs, street frontage widths, materials, finishes, fences and landscape settings which complement without attempting to reproduce historic buildings or their detailing.

### 3.5 Facades

- 3.5.1 Buildings on corners must address both street frontages.
- 3.5.2 Buildings must incorporate articulation and other facade variations adjacent to street frontages and other significant public realm spaces to reduce their visual bulk and improve their appearance.

- 3.5.3 Other than in ground floor retail or commercial premises along an active frontage, openings should be small and with a strong vertical axis.
- 3.5.4 Colourbond is recommended for the external surfaces of buildings in Chinatown.
- 3.5.5 Structures should be simple in form.
- 3.5.6 Handrails and building trim should be very simple in detail.
- 3.6 Roof Forms

3.6.1 *Large floor areas must be roofed by means of a series of smaller-scale individually roofed units that are linked to each other in order to reduce the perceived bulk of the roof form.*

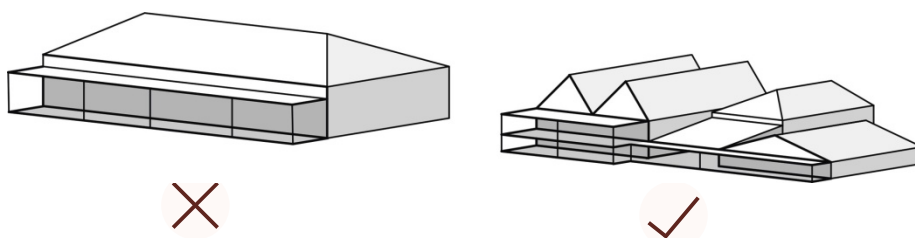


Figure: Break down a large roof form by smaller scale roof units

- 3.6.2 *Roof forms that are not reflective of the character of original buildings such as flat, curved, pagoda, hexagonal or octagonal are not permitted.*
- 3.6.3 *Typical roof forms as found on original buildings such as simple hipped and gable forms with gable facing either front or side elevations must be used for single and two storey developments.*

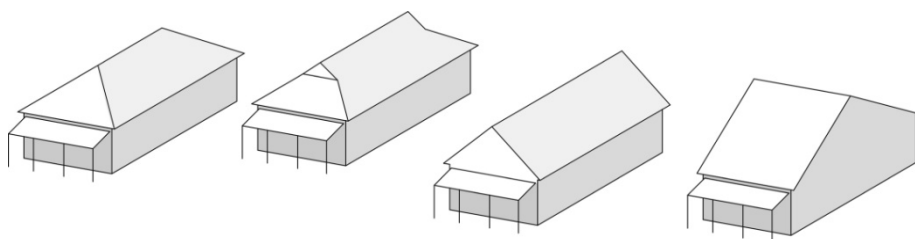


Figure: Typical roof forms

- 3.6.4 *Unless varied to conform with flight path restrictions or a roof which is not visible from a public place, the roof pitch over the internal floor area must be between a minimum of 26 degrees and maximum of 40 degrees for hipped and gable roof forms.*
- 3.6.5 The roof pitch over the internal floor area must be a minimum of 17.5 degrees for skillion roof forms.

3.6.6 Mono-skillion roof forms (a singular skillion roof) are not permitted.

### 3.7 External Colours and Materials

*The design guidance recommends that colour palettes should include at least one of the colours which has traditionally been used to paint buildings in Broome: off white, green, red or black.*

3.7.1 Primary cladding materials must be light coloured to reduce heat gain and the colours of external surfaces visible from the street or a public space must be no more than three (excluding colours of approved signage).

3.7.2 External colours must not pose risk to aviation due to glare.

### 3.8 Mechanical Services

3.8.1 Piped and wired services must be concealed from public view.

3.8.2 Services, including air conditioning units, satellite dishes and other plant and equipment, must be located to minimise visual and acoustic impact on neighbouring properties and the street and public realm.

3.8.3 All service meters must be contained within development lots, and screened and integrated into the overall development.

3.8.4 Air conditioning must not be visible from the street and must not be visible above the roof line of buildings on street facing elevations.

### 3.9 Noise and Odour

3.9.1 Noise generating services such as air conditioning units must be remotely located or utilise noise control measures to minimise impacts on adjacent users.

3.9.2 Development, such as entertainment venues, with potential to emit significant noise must incorporate appropriate noise attenuation measures in their design to prevent noise from causing unreasonable interference with the amenity, also having regard to any adjoining residential areas.

3.9.3 Noise sensitive development must be located and/or incorporate adequate noise attenuation measures into their design and construction to provide occupants with reasonable amenity having regard to noise sources such as entertainment premises, service areas for retail premises, and other activities contemplated in the Zone.

## **Environmental Design**

### 4.1 Solar Design

4.1.1. Glazing within east and west facing walls must be shaded either by a neighbouring building, adjustable vertical shading structures or awning or similar structure or a combination of the above.

- 4.1.2. North facing and south facing openings must all be provided with a horizontal fixed or moving shading device with a minimum width of 750mm.

#### Residential/Tourist Development

- 4.1.3 All windows not shaded by a 900mm eave overhang, such as along a gable wall, or windows with a sill height of less than 0.5m above floor level, must be shaded by a device (e.g.: awning, pergola, louver or approved alternative) at the head of the opening with a minimum projection of 600mm suitable to cyclonic conditions.

#### 4.2 Ventilation

- 4.2.1 Principal living areas and major openings must be designed and located to enable cross-ventilation to effectively cool internal spaces.

- 4.2.2 Development should be designed to maximise cross ventilation by providing direct breeze paths for optimised cooling and air circulation.

- 4.2.3 Balustrades must be at least 75% breeze permeable.

#### Residential/Tourist Development

- 4.2.4 Habitable rooms must have at least one window with 50% openable area on all external walls.

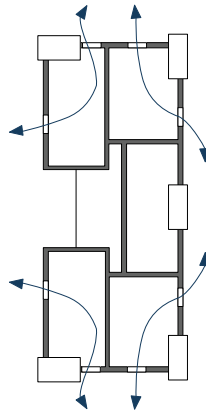


Figure: For habitable rooms enhance cross ventilation with openings on all external walls

- 4.2.5 Habitable rooms must have, per window, a minimum openable area of 1 metre square.
- 4.2.6 Primary outdoor living areas (including a space between more than two walls) must be covered by a roof, with a covered area of minimum dimension of 3.0 metres.
- 4.2.7 Flat ceilings to all habitable rooms must be a minimum of 2700mm.
- 4.2.8 Raked ceilings to habitable rooms must achieve an average of 2700mm with a minimum pitching plate of 2500mm.
- 4.2.9 A minimum of one ceiling fan must be provided to all habitable rooms.



- 4.2.10 Multiple and group dwelling developments must demonstrate effective cross-ventilation in communal access corridors and other circulation spaces.
- 4.2.11 Multiple dwelling developments must demonstrate the ability for cross-ventilation to each unit.

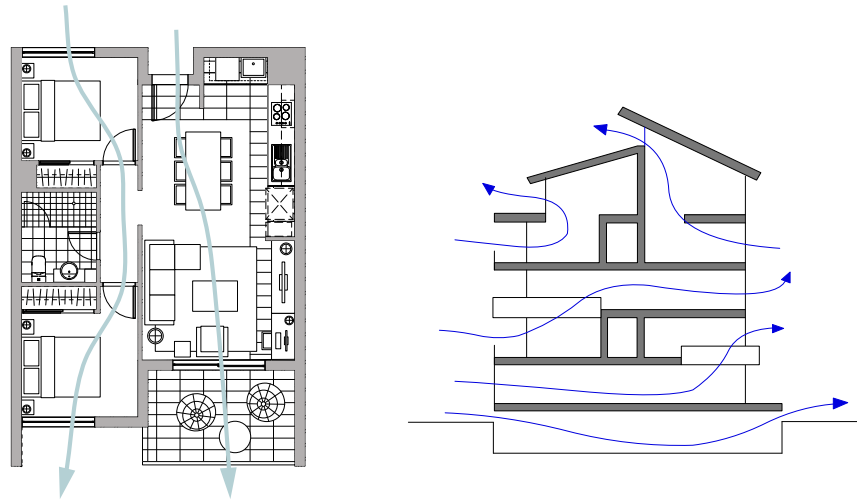


Figure: Multiple developments must demonstrate the ability to cross-ventilate each unit.

### 4.3 Landscaping Design

- 4.3.1 A landscaping plan must be submitted for any development application (with exception of single residential development) detailing plant types, number, irrigation and mulch type to demonstrate that the development will meet the above Objectives.
- 4.3.2 Landscaping will be designed with a view to crime prevention through environmental design, and allow development to take advantage of views over open space while assisting with creation of an attractive urban edge with landscaping on verge and near-verge areas to soften the appearance of buildings and provide shade.
- 4.3.3 Landscaping must be designed to complement building design solutions to optimize climate-control benefits of ventilation and shading in an integrated way.
- 4.3.4 Unless shading has been provided by a building or structure, shade trees in car parking areas should be provided at a rate of not less than one per four parking spaces.

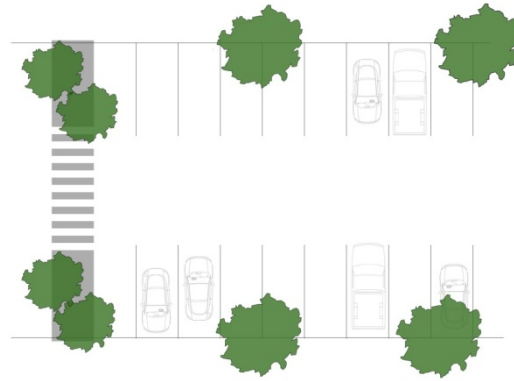


Figure: 1 in 4 shade trees in car parking areas

## **SHIRE OF BROOME LOCAL PLANNING SCHEME No. 6 (LPS6) – LOCAL PLANNING POLICIES**

This Policy is a Local Planning Policy adopted under the provisions of Clause 2.4 of LPS6. LPS6 is administered by the Shire of Broome as the responsible authority under the Scheme. LPS6 was gazetted and came into operation on the 30 January 2015.

Planning policies adopted under LPS6 may be amended or rescinded after the procedures set out in Clause 2.4 and 2.5 have been completed.

Town Centre Design Guidelines - Chinatown		Y	N	N/A	Comments
<b>DESIRED CHARACTER</b>					
Desired Character					
1.1	Development must retain a clear vista at ground level along Short Street and Napier Terrace to Roebuck Bay.				
1.2	Development should front and engage with both Dampier Terrace and Roebuck Bay.				
<b>URBAN DESIGN</b>					
Crime Prevention through Environmental Design					
2.1.1	Along frontages and other pedestrian areas, development must incorporate and operate lighting underneath the canopy at ground level to promote after-hours security of areas under verandahs and awnings that are insufficiently lit by existing street lighting.				
2.1.2	Development must not incorporate the use of reflective or dark glazing, permanent window coverings, opaque film, signage or any device that prevents views into non-residential buildings and hides the presence of activity within the building.				
2.1.3	Building designs must provide clear sightlines from living spaces, balconies, hospitality and commercial areas to public spaces and vice-versa.				
2.1.4	Opportunities for casual surveillance must be provided from inside buildings to the public realm.				
2.1.5	Building entrances must optimise visibility and safety through being positioned in a prominent location within clear view of the street frontage, orientated towards the street with lighting.				
2.1.6	Fencing in front of the facade must be of an open style (visually permeable) to allow passive surveillance between public and private realms.				
<b>Pedestrian Friendly Streets</b>					
2.2.1	All non-residential buildings fronting the street must provide continuous weather protection and shading along footpaths through the use of awnings, upper level building overhangs, colonnades and verandahs of a minimum width of 3 metres for the full length of the street.				
2.2.2	Pedestrian laneways and courtyards must be at least 3 metres in width and be provided with at least				

<p>2.8 metres vertical clearance above the finished level of the laneway or courtyard.</p> <p>2.2.3 In any development making use of public land such as the street verge, eg. for alfresco dining, the developer must install shade trees, or shade structures, within the verge to assist in providing shaded verge areas for pedestrian comfort.</p> <p>2.2.4 All verandahs, awnings and other overhangs are to have a minimum vertical clearance of 2.8 metres above finished footpath level.</p> <p>2.2.5 Verandah posts to be setback a minimum of 0.5m from travel lanes and parking areas.</p> <p>2.2.6 All verandahs, awnings and other overhangs must be designed to ensure they do not inhibit trees in the public domain achieving full mature canopies.</p> <p>2.2.6 Alfresco structures within verge areas must provide integrated public access ways through the alfresco area.</p>			
<b>Active Edges</b>			
<p>2.3.1 Buildings must directly address streets and public places.</p> <p>2.3.2 Development must provide clearly delineated building entries and associated elements to emphasise their visible presence from various approaches to the building.</p> <p>2.3.3 Development must avoid or minimise blank walls presenting flat surfaces without detailing, openings or activity as viewed from the street and public spaces.</p> <p>2.3.4 Development must ensure that car parking structures, building plant and service areas are screened from streets and thoroughfares by suitable development and/or landscaping.</p> <p>2.3.5 Vehicle entries to premises including car parking areas must be located and designed so that they do not detract from street plantings or the safety, convenience and quality of the pedestrian environment.</p> <p>2.3.6 Separate pedestrian entrances must be provided for residential and commercial uses.</p> <p>2.3.7 Buildings must directly address streets and public places including Male Oval, laneways and Roebuck Bay.</p> <p>2.3.8 Development must establish and maintain relatively continuous edges of built form along street frontages with gaps coinciding with important vistas, and any 'at grade' car parking areas and entries located and designed to minimise interruption of the built-form facing these streets.</p> <p>2.3.9 Off-street car parking must not be located between facades and the street boundary.</p> <p>2.3.10 Edges of large-format retail stores or complexes must ensure that there are active frontages to all</p>			

public streets with the active frontage flanked by smaller-scale premises, active uses and other features that promote street activation and passive surveillance of the street.				
<b>Setbacks</b>				
2.4.1 Buildings must be setback 0-2 metres from the street boundary.				
2.4.2 Buildings seeking a setback of 0 metres to the boundary must incorporate a weather protection/shading structure as detailed under 2.2.1.				
<b>Light Spill</b>				
2.5.1 Outdoor lighting must be directed downwards with no light spill above the horizontal plane.				
2.5.2 Lighting must not pose risk to aviation.				
<b>Plot Ratio</b>				
2.6.1 Non-residential development should not exceed a plot ratio of 1 and a site coverage of 75%.				
<b>Flood Levels and Floor Protection</b>				
2.7.1 Development must comply with an absolute minimum fill level of 5.3m A.H.D. and a minimum floor level of 5.7m A.H.D., or, levels as may be varied by the Scheme based on new research and the relevant State Planning Policy.				
<b>BUILT FORM</b>				
<b>Height</b>				
3.1.1 Building height and the bulk of upper levels must maintain a compatible scale with adjacent development, and in any case, the height of buildings must not exceed a wall height of 10 meters and a building height of 14 metres.				
3.1.2 The Obstacle Limitation Surface for Broome International Airport must not be penetrated by any building or structure.				
<b>Building Depth</b>				
3.2.1 Residential apartments (multiple dwellings) or multi-storey accommodation units must have a building depth of no greater than 18 metres.				
<b>Floor Levels</b>				
3.3.1 To promote adaptability for future uses, any residential development the ground floor to first floor height must be at least 4.2 metres, with a floor-to-floor height of at least 3.2 metres in each upper storey of a multi-storey building.				
<b>Heritage</b>				
3.4.2 Alterations and additions to places of heritage value must enhance the established heritage value				

<p>and be compatible with the design, siting, scale, built form, materials and external finishes.</p> <p>3.4.3 New and original developments must be able to be clearly identified as of a different development period but compatible in form, colour, materials, height, bulk, scale and relationship to adjacent heritage buildings.</p> <p>3.4.4 Development must conserve, maintain, enhance and reinforce the existing streetscape and the historic character of individual buildings, exhibiting architectural and roof forms, designs, street frontage widths, materials, finishes, fences and landscape settings which complement without attempting to reproduce historic buildings or their detailing.</p>				
<b>Facades</b>				
<p>3.5.1 Buildings on corners must address both street frontages.</p> <p>3.5.2 Buildings must incorporate articulation and other facade variations adjacent to street frontages and other significant public realm spaces to reduce their visual bulk and improve their appearance.</p> <p>3.5.3 Other than in ground floor retail or commercial premises along an active frontage, openings should be small and with a strong vertical axis.</p> <p>3.5.4 Colorbond is recommended for the external surfaces of buildings in Chinatown.</p> <p>3.5.5 Structures should be simple in form.</p> <p>3.5.6 Handrails and building trim should be very simple in detail.</p>				
<b>Roof Forms</b>				
<p>3.6.1 Large floor areas must be roofed by means of a series of smaller-scale individually roofed units that are linked to each other in order to reduce the perceived bulk of the roof form.</p> <p>3.6.2 Roof forms that are not reflective of the character of original buildings such as flat, curved, pagoda, hexagonal or octagonal are not permitted.</p> <p>3.6.3 Typical roof forms as found on original buildings such as simple hipped and gable forms with gable facing either front or side elevations must be used for single and two storey developments.</p> <p>3.6.4 Unless varied to conform with flight path restrictions or a roof which is not visible from a public place, the roof pitch over the internal floor area must be between a minimum of 26 degrees and maximum of 40 degrees for hipped and gable roof forms.</p> <p>3.6.5 The roof pitch over the internal floor area must be a minimum of 17.5 degrees for skillion roof forms.</p> <p>3.6.6 Mono-skillion roof forms (a singular skillion roof) are not permitted.</p>				
<b>External Colours</b>				
<p>3.7.1 Primary cladding materials must be light coloured to reduce heat gain and the colours of external surfaces visible from the street or a public space must be no more than three (excluding colours of approved signage).</p>				

3.7.2	External colours must not pose risk to aviation due to glare.				
<b>Mechanical Services</b>					
3.8.1	Piped and wired services must be concealed from public view.				
3.8.2	Services, including air conditioning units, satellite dishes and other plant and equipment, must be located to minimise visual and acoustic impact on neighbouring properties and the street and public realm.				
3.8.3	All service meters must be contained within development lots, and screened and integrated into the overall development.				
3.8.4	Air conditioning must not be visible from the street and must not be visible above the roof line of buildings on street facing elevations.				
<b>Noise and Odour</b>					
3.9.1	Noise generating services such as air conditioning units must be remotely located or utilise noise control measures to minimise impacts on adjacent users.				
3.9.2	Development, such as entertainment venues, with potential to emit significant noise must incorporate appropriate noise attenuation measures in their design to prevent noise from causing unreasonable interference with the amenity, also having regard to any adjoining residential areas.				
3.9.3	Noise sensitive development must be located and/or incorporate adequate noise attenuation measures into their design and construction to provide occupants with reasonable amenity having regard to noise sources such as entertainment premises, service areas for retail premises, and other activities contemplated in the Zone.				
<b>ENVIRONMENTAL DESIGN</b>					
<b>Solar Design</b>					
4.1.1	Glazing within east and west facing walls must be shaded either by a neighbouring building, adjustable vertical shading structures or awning or similar structure or a combination of the above.				
4.1.2	North facing and south facing openings must all be provided with a horizontal fixed or moving shading device with a minimum width of 750mm.				
<b>Residential/Tourist Development Controls:</b>					
4.1.3	All windows not shaded by a 900mm eave overhang, such as along a gable wall, or windows with a sill height of less than 0.5m above floor level, must be shaded by a device (e.g.: awning, pergola, louver or approved alternative) at the head of the opening with a minimum projection of 600mm suitable to cyclonic conditions.				
<b>Ventilation</b>					
4.2.1	Principal living areas and major openings must be designed and located to enable cross-ventilation to effectively cool internal spaces.				

<p>4.2.2 Development should be designed to maximise cross ventilation by providing direct breeze paths for optimised cooling and air circulation.</p> <p>4.2.3 Balustrades must be at least 75% breeze permeable.</p> <p><b>Residential/Tourist Development Controls:</b></p> <p>4.2.4 Habitable rooms must have at least one window with 50% openable area on all external walls.</p> <p>4.2.5 Habitable rooms must have, per window, a minimum openable area of 1 metre square.</p> <p>4.2.6 Primary outdoor living areas (including a space between more than two walls) must be covered by a roof, with a covered area of minimum dimension of 3.0 metres.</p> <p>4.2.7 Flat ceilings to all habitable rooms must be a minimum of 2700mm.</p> <p>4.2.8 Raked ceilings to habitable rooms must achieve an average of 2700mm with a minimum pitching plate of 2500mm.</p> <p>4.2.9 A minimum of one ceiling fan must be provided to all habitable rooms.</p> <p>4.2.10 Multiple and group dwelling developments must demonstrate effective cross-ventilation in communal access corridors and other circulation spaces.</p> <p>4.2.11 Multiple dwelling developments must demonstrate the ability for cross-ventilation to each unit.</p>				
<b>Landscaping</b>				
<p>4.3.1 A landscaping plan must be submitted for any development application (with exception of single residential development) detailing plant types, number, irrigation and mulch type to demonstrate that the development will meet the above Objectives.</p> <p>4.3.2 Landscaping will be designed with a view to crime prevention through environmental design, and allow development to take advantage of views over open space while assisting with creation of an attractive urban edge with landscaping on verge and near-verge areas to soften the appearance of buildings and provide shade.</p> <p>4.3.3 Landscaping must be designed to complement building design solutions to optimize climate-control benefits of ventilation and shading in an integrated way.</p> <p>4.3.4 Unless shading has been provided by a building or structure, shade trees in car parking areas should be provided at a rate of not less than one per four parking spaces.</p>				